

**TOWN OF SILT
 PLANNING AND ZONING COMMISSION AGENDA
 Tuesday, February, 4 2025 6:30 P.M.
 MUNICIPAL COUNCIL CHAMBERS
 HYBRID MEETING**

ESTIMATED TIME	ELECTRONIC AGENDA ITEM	PUBLIC HEARING/ ACTION	ELECTRONIC LOCATION AND PRESENTOR
	Agenda		Tab A
6:30 5 min	Call to Order		Chair Williams
	Roll Call		
	Pledge of Allegiance		
6:35 5 min	Public Comments - Each speaker will limit comments to no more than three (3) minutes, with a total time of 30 minutes allotted to public comments, pursuant to Section 2.28.020 of the Silt Municipal Code		
6:40 5 min	Consent agenda – 1. Minutes of the January 7, 2025 Planning & Zoning Commission meeting	Action Item	Tab B Chair Williams
	Conflicts of Interest		
	Agenda Changes		
6:45 20min	1909 Horseshoe Trail – Site Plan Amendment	Public Notice Action Item	Tab C Director Centeno
7:05 20min	Moratorium on Food Trucks	Discussion Item	Tab D Manager Mann
7:25 10 min	Planners Report	Info Item	Tab E Director Centeno
7:40 5 min	Commissioner Comments		
7:45	Adjournment		

The next regularly scheduled meeting of the Silt Planning & Zoning Commission is tentatively set for Tuesday, March 4 2025, at 6:30 p.m. Items on the agenda are approximate and intended as a guide for the Planning and Zoning Commission. "Estimated Time" is subject to change, as is the order of the agenda. For deadlines and information required to schedule an item on the agenda, please contact the Town of Silt at 876-2353. Please be aware that this agenda is given to the public and to the Commission in electronic form. If you require a hard-copy, please request one before or after the scheduled meeting. Normal Town copying charges may apply. Thank you.

TOWN OF SILT
REGULAR PLANNING AND ZONING COMMISSION MEETING
January 7, 2025 – 6:30 P.M.
HYBRID MEETING

The Silt Planning and Zoning Commission held their regularly scheduled meeting on Tuesday, January 7, 2025. The meeting was called to order at 6:30PM.

Roll call	Present	Chair Lindsey Williams Vice Chair Michael Bertaux Commissioner Eddie Aragon Commissioner Vanessa Westmoreland Alternate Dana Wood
	Absent	Commissioner Jennifer Stepisnik Alternate Justin Anderson

Also present: Community Development Director, Nicole Centeno and Town Manager, Jim Mann

Pledge of Allegiance

Public Comment

There was no public comment

Consent Agenda

1. Minutes of the December 3, 2024 Planning & Zoning Commission meeting.

Commissioner Aragon made a motion to approve the meeting minutes on the consent agenda, seconded by Vice Chair Bertaux. The motion to approve the consent agenda carried unanimously.

Conflicts of Interest

There were no conflicts of interest.

Agenda Changes

There were no proposed changes to the agenda.

Park and Recreation Ordinance Change

Manager Mann explained Staff's endeavor to whittle away at the list of 83 noted code changes, one of which is parks and recreation. He introduced the overall concept as repealing the current sections of code that address parks and recreation, while creating Title 7, entitled "Public Buildings, Parks, Open Space, and Recreation".

Some of the revisions included:

- Use of alcohol at Public Parks & Town Rentals/Buildings
- Change park hours from dawn to dusk to 7am to 10pm
- Sound and movie projection
- Prohibitions
- Dogs, pets and other animals

Chair Williams inquired as to who is on the Code Change Sub-Committee. Manager Mann answered that the committee consisted of Vice-Chair Bertaux, Commissioner Wood, Mayor Pro-Tem Hanrahan, Trustee Classen, Director Centeno, Clerk McIntyre and himself.

After thanking the committee for their time invested in code changes, Chair Williams clarified with Manager Mann as to what he would like to see the commissioners accomplish with their conversation that evening. Manager Mann stated that he had no pre-disposed idea of timing. The commission could vote to send the document, as is, to the trustees, or they could make changes before sending it on, or they could send it back to the sub-committee for further discussion.

Commissioner Wood wanted to highlight the Island Park and asked for consistency between the rules for the Island Park and the Silt River Preserve.

Vice-Chair Bertaux gave some feedback on allowing alcohol and suggested putting up do's and don'ts at the skate park. Commissioner Aragon echoed Bertaux's thoughts on posting expectations on site.

Commissioner Stepisnik submitted comments via email, which Director Centeno read to the Commission. Commissioner Stepisnik did not support alcohol at the Town Center or projected movies at the park. She did not have a strong opinion on the park hours, outside of being cognizant of PD's time to enforce.

Director Centeno ran through the proposed code changes and gave her feedback on the below:

- Does not support alcohol in the Town Center
- Changes to occupancy need to be corrected to 93 for the Town Center and 25 for the Chamber.
- Pointed out specific code changes can cause issue
- Define sound projection (live music, DJ music, boombox)
- Supports that only the Town can project a movie in the park, not the general public
- Skate Park rules to be revamped
- Supports alcohol in the park
- Does not think the River Preserve is the right location for horses.

Chair Williams asked about Town budget for Public Works and the Police Department, potential increase due to alcohol in the Town rentals. She also didn't want to promote alcohol in the code, if permitted. She also inquired about the number of Town Center rentals and what kind of groups utilize the space. Director Centeno stated that the Town Center was utilized weekly by the Senior Meals Program, bi-weekly by court ordered counseling as well as regularly by renters that utilize the space for birthday parties, baby showers etc... Chair Williams then inquired as to whether or not the Town is missing out on rentals due to the no alcohol rule, but Director Centeno didn't think the rentals had been impacted significantly. Chair Williams gave feedback on increased outreach attendance in her own personal job, related to providing alcoholic beverages.

Manager Mann wanted to highlight that there was nothing under recreation yet, as that was for a future discussion and codification. The recreation section is where the Town will address behavior and referee abuse.

Vice-Chair Bertaux suggested bringing this back to the Code Committee.

Commissioner Wood circled back to the Island Park and wanted to make sure that people knew what all of the amenities entailed. Director Centeno suggested park highlights, rather than code changes to encompass park amenities. Commissioner Wood agrees that a new method of highlight would be great for all of the parks.

Vice-Chair Bertaux inquired about making sure that dog waste disposal bags were available at all of the parks. Chair Williams asked about why dogs are prohibited and Manager Mann explained Staff's previous conversations with the Trustees and the outcome of not allowing dogs at the park.

Chair Williams wrapped up the conversation by reiterating that the Commissioners wanted to see the proposed changes go back to the Code Committee.

Planners Report

Director Centeno introduced her staff report, with end of the year numbers. She explained that there were several applications in the queue, pending corrections.

She also reminded the Commissioners about the Town's appreciation party and joint meeting.

With four Commissioners terms expiring, Director Centeno encouraged Commissioner Aragon, Commissioner Stepisnik, Commissioner Westmoreland and Commissioner Anderson to reapply.

Commissioner Comments

Commissioner Aragon and Chair Williams expressed gratitude for everyone's time.

Adjournment

Vice Chair Bertaux made a motion to adjourn the meeting; seconded by Chair Williams. The meeting adjourned at 7:35 P.M.

Respectfully submitted,

Approved by the Planning Commission

Nicole Centeno
Community Development Director

Lindsey Williams
Chair

TOWN OF SILT
PLANNING COMMISSION STAFF REPORT
Public Hearing Action Item- Amend Site Plan Approval
Tuesday, February 4, 2025 6:30 PM

Project:	Amend Site Plan Approval
Location:	1909 Horseshoe Trail
Applicant:	Jerry Rusch
Owner:	Eco- Matrix, LLC / Bob Ward
Current Zoning:	Commercial PUD
Present Land Use:	Commercial Warehouse
Proposed Land Use:	Enclose Patio- Additional Office Space

Original Approval

On May 3, 2022, the Planning and Zoning Commission approved a Site Plan Review for 1909 Horseshoe Trail, allowing for a metal structure to be built with a mixed-use warehouse and residential occupancy classification. The residential portion of the application was approved by Special Use.

Throughout the course of building permit application, the applicant at the time decided to remove the residential proposal, due to additional tap fee requirements. Upon building permit plan review, it was also discovered that the covered patio structure, originally proposed on the east side of the building, needed to be moved to the west side of the building. There was an issue with fire separation and setback requirements with the patio being located on the east side.

During the original approval, the covered porch intentions were questioned and the Planning Commission wanted to ensure that the residential tenants had an outdoor space to occupy. The concern that the covered porch was going to be enclosed or screened was conveyed as defeating the purpose of providing the residential occupant the outdoor space to sit and relax / BBQ etc...

Planner Chain made the following recommendation in his May 3, 2022 Staff Report:

“ V. Planner Recommendation:

Staff recommends APPROVAL of the site plan for Lot 94 of the Silt Trade center with the following conditions:

- 1. all representations of the applicant made in writing, application materials and verbally at the Planning Commission or Trustee meetings or that are reflected in the meeting minutes are considered part of the application and are binding on the applicant.*
- 2. That the updated site plan meets town access, hard surface materials (asphalt) and parking requirements are met.*
- 3. That the color scheme as proposed for Koko Brown and Light Stone as included on the color palette are acceptable.*
- 4. That a suitable shared use agreement with the occupant to the west be obtained or that that part of the site be reclaimed.*
- 5. That the landscaping requirements be met at the time of building permit submission and meet the following requirements of the PUD:*
 - Landscape requirements, per ordinance 19-08 include:*
 - A minimum of 10% of the lot shall be landscaped*
 - 6'-0" buffer inside property line to edge of road*
 - Rock cover may be used in the landscape area, and shall have a 5 mil minimum weed barrier*
 - Within landscape buffer zone proved trees, 1 ½" diameter min. at 20 feet on center*
 - A minimum of four (4) trees and eight (8) one gallon shrubs shall be provided*
 - All landscaping shall be healthy and well kept*
 - Landscaping shall be irrigated*
- 6. that the open areas in the lean-to storage structure or any outside storage be screened as necessary according to section O.2 of the PUD regulations. Specifically, that outside storage needs to be well maintained with a 6-foot-high minimum chain-link fence with green mesh screening or as otherwise approved by the Town of Silt.”*

As noted in the May 3, 2022 minutes, the following motion was made and approved:

“Commissioner Dorsey made a motion to approve the Site Plan Review for lot 94 Silt Trade Center with the staff recommendation excluding line item six with the sentence that if requiring screening around the lean-to but keep recommendation that any outside storage be screened by PUD compliant methods. Commissioner Doty seconded the motion and it carried unanimously.”

Description of Request- Amend Site Plan Approval

After construction was completed, the original applicant sold the property to Eco-Matrix, the current applicant. Given that the enclosure of the patio was restricted as means of providing residential occupants an outdoor space, Eco-Matrix is requesting a revision to the Site Plan approval, now that there is not a residential element to the property.

Eco-Matrix's amendment includes enclosing the patio to create three offices for their business. The applicant states that the exterior finishes will match the existing building, which is Light Stone with Koko Brown accents.



Vicinity Map and Legal Description

Eco-Matrix is located as 1909 Horseshoe Trail, also know as Section: 11 Township: 6 Range: 92 Subdivision: LYON SUB PUD Lot: 94 (12286 SF).



Staff Findings and Conclusions

Overall, staff finds this application to align with the uses in the immediate surrounding areas. It appears that the previous concern with enclosing the patio, due to residential amenity, is not longer relevant.

Please note that the proposed amendment will need to be evaluated by the Town's Plans Reviewer, Staff and Engineer, prior to Building Permit issuance. The Commission is determining whether or not the proposal aligns with the zoning for Site Plan Review, however, a zoning approval will give the option to enclose the patio, pending the applicant's ability to meet the building and drainage requirements.

Planner Recommendation

Staff recommends APPROVAL of the amendment to the site plan, allowing for the enclosure of the covered patio, with the following conditions:

1. All representations of the applicant made in writing, application materials, verbally spoken at the meeting or that are reflected in the meeting minutes, spoken by the Commissioners or applicant, are considered part of the application and are binding on the applicant.
2. That applicant provides any additional requested documents and pay all related fees.
3. That the color scheme for the addition remain consistent with the color palette of the original building, depicted as Light Stone with Koko Brown accents.
4. That the applicant meets any and all requirements for building permit approvals, including but not limited to, Engineering and Building Code Compliance.
5. That the enclosed addition only be used for the occupancy of office space and not a residential use.
6. That the enclosed addition not have any additional water hook-ups, without proper permitting and paying of additional tap fees.
7. That this approval is not for construction. All future improvements will require permitting and approvals through the Community Development Department.

Recommended Motion

I move to approve the proposed Site Plan Amendment, allowing Eco-Matrix to enclose the covered patio located at 1909 Horseshoe Trail, with the conditions written in the staff report and spoken during this meeting.



Community Development Department
 231 N. 7th Street, Silt, CO 81652
 (970) 876-2353 (office) (970) 876-2937 (fax)
 www.TownOfSilt.org

Land Use Application Form

Fee - \$250

<input type="checkbox"/> Amended Plat	<input type="checkbox"/> Boundary Adjustment	<input type="checkbox"/> Subdivision Exemption
<input type="checkbox"/> Annexation	<input type="checkbox"/> Sketch Plan	<input type="checkbox"/> Floodplain Development
<input type="checkbox"/> Final Plan	<input type="checkbox"/> Planned Unit Development	<input type="checkbox"/> Vacation of Right-of-Way
<input type="checkbox"/> Text Amendment	<input type="checkbox"/> Site Plan Review	<input type="checkbox"/> Metro District or Special District
<input type="checkbox"/> Easement Agreement	<input type="checkbox"/> Zoning or Rezoning	<input type="checkbox"/> Subdivision Improvement Agreement
<input type="checkbox"/> Preliminary Plan	<input type="checkbox"/> Special Use Permit	<input type="checkbox"/> ADA or ADA Amendment
<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Intergovernmental Agreement	<input checked="" type="checkbox"/> Other: _____

Project Name: _____

Project Description / Property Information:

Address: 1909 Horseshoe TRAIL Parcel ID Number: Lot 94

Legal Description (attach additional sheets if necessary): Reception # 471909

Access to Property: Horseshoe TRAIL

Acreage or Square Footage: 12,250 Existing Land Use Designation: STORAGE

Proposed Land Use Designation: STORAGE WITH OFFICE

Existing Zoning: S1 Proposed Zoning: S1 & B

Proposed Use / Intensity of Use: STORAGE & OFFICES

Submittal Requirements:

- A completed original application with original signatures and two copies (2 sets stapled individually) shall be submitted to the department for review. The application shall include two sets of 24" x 36" plans, plats and other appropriate drawings. Application must also be submitted in electronic format (Emailed PDF & Flash Drive).
- In addition to this application, all information on the supplemental checklist must be submitted.
- Incomplete applications will not be accepted and will delay processing.
- When the documents are deemed adequate, additional copies as required by the department shall be submitted ten (10) days before the public hearing.
- All documents submitted for public hearing shall be hole-punched, collated and paper-clipped (no staples). All plans, plats or drawings shall be folded to 8 1/2" x 11" and inserted into the collated application. Each individual application shall be banded together and ready for public distribution.

STAFF USE ONLY

Pre-app conference: _____ (date)	Application received: _____ (date)
Application complete: _____ (date)	File Number: _____
Fees: _____	Referrals Sent: _____ (date)
Deposits: _____	PZC approval: _____ (date)
Paid: _____ (date)	BOT approval: _____ (date)

RECEIVED JAN 21 2025



Billable Party Agreement

Property Owner(s): Name: Bob Ward Phone: 970-948-7401
 Company: ECOMATRIX LLC Fax: _____
 Address: 1909 Horseshoe Trail, Silt, CO 81652
 Authorized Rep.: Name: JERRY RUSCH Phone: 930 989 0330
 Company: ROCKY MOUNTAIN STEEL STRUCTURES Fax: ---
 Address: 1810 MEDICINE BOW CT #201 SILT CO 81652
 Billable Party: Owner _____ Representative _____

The Billable Party, by signing below, hereby agrees to reimburse the Town the actual costs to the Town plus 15% administrative fees for all billable staff time and contract services, including, but not limited to, planning, reviewing, inspecting, engineering, surveying and legal services rendered in connection with the applicant's request. A deposit will be required if deemed necessary by Town Staff. The Billable Party shall also reimburse the Town for the cost of making any corrections or additions to the master copy of the official Town map and for any fees for recording any plats and accompanying documents with the County Clerk and Recorder of Garfield County. The Billable Party agrees that interest shall be imposed at a rate of 5% per month on all balances not paid within thirty (30) days of the date of the statement. In addition to any and all remedies available to the Town and in the event the Town is forced to pursue collection of any amounts due and unpaid, the Town shall be entitled to collect attorney's fees and costs incurred in said collection efforts in addition to the amount due and unpaid.

Name (printed): ECOMATRIX LLC

Address: 1909 Horseshoe Trail, Silt, CO 81652

Phone: 970-404-5503 Email: ecomatrix2@outlook.com

Type of Identification: CO Drivers License Signature: Robert Ward

County of Garfield

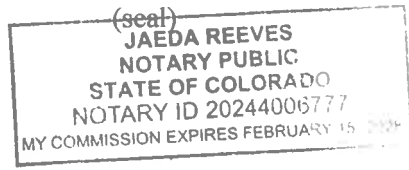
State of Colorado §

Sworn to and subscribed before me this 20 day of January, 2025
(Day) (Month) (Year)

By Jaeda Reeves
(Notary Name)

Witness my hand and official seal Jaeda Reeves
(Notary Signature)

Notary Public
My Commission Expires February 15th, 2028



RECEIVED JAN 21 2025

Town of Silt Community Development

231 N. 7th Street, Silt Colorado 81652; (970)876-2353 ext. 110



LAND USE ACTIVITY IMPACT STATEMENT

Name of Applicant: Ecomatrix LLC Date: 1/20/2025

Location of Property: 1909 Horseshoe Trail Silt, CO. 81652

Land Use Request: CLOSE IN LEAN-TO FOR OFFICES

Please answer the following questions to the best of your ability. Attach additional pages as needed.

1. Is your request compatible with the Silt Municipal Code? Yes/No
2. Is your request compatible with the Silt Comprehensive Plan? Yes/No

If not, how is your request useful to the Town of Silt?

N/A

3. Explain how your request is compatible with the immediate area surrounding the site.

THE AREA TO BE ENCLOSED IS ALREADY CONSTRUCTED & WILL NOT AFFECT THE ADJACENT CAR WASH

4. How is your request desirable for the Town of Silt?

IT WILL KEEP THE CURRENT STORAGE AREA TO BE ENCLOSED TO MATCH THE EXISTING BUILDING AND WILL NO LONGER HAVE MATERIALS STORED THERE WHICH IS NOW VISIBLE TO THE PUBLIC

5. Detail any real or possible environmental, town service, or other impacts your request may have.

NONE

6. Are there or have there ever been any landfills on any part of the property included in your request? Yes/No

7. Please mark all the concerns or impacts listed below which apply to your request and give a brief statement about how you have addressed them.

- a. _____ traffic
- b. _____ town services (water, sewer, etc.)
- c. _____ signage
- d. open space
- e. _____ schools
- f. _____ emergency services (police, fire, medical)
- g. _____ other utilities (electrical, etc.)
- h. _____ other (pollution, etc.)

Please list any other items or information which you feel would be of help in assessing your application.

THE AREA TO BE ENCLOSED IS NOW VISIBLE TO THE PUBLIC. ENCLOSING THIS AREA WILL PROVIDE BETTER EYE APPEAL FROM THE STREET

Disclosure of Property Ownership

- _____ If owner is an individual, indicate name exactly as it appears on the deed.
- _____ If owner is a corporation, partnership, limited partnership or other business entity, name principals on a separate page. Please include articles of organization, partnership agreement, etc., as applicable.
- _____ If owner is a land trust, name beneficiaries on a separate page.
- _____ If applicant is a lessee, indicate the owner(s) on a separate page.
- _____ If applicant is a contract purchaser, attach a copy of the contract and indicate the owner(s) on a separate page.

Please provide the name(s), mailing address(es), street address(es) and phone number(s) for all owners.

Property Owner Affidavit

I/We, Ecomatrix LLC, being first duly sworn, depose and state under penalties of perjury that I am (we are) the owner(s) of the property described herein and which is the subject of the application and proposed hearings; that all answers provided to the questions in this application, and all sketches, data and all other supplementary matter attached hereto and made part of this application are honest and true to the best of my (our) knowledge and belief. I (we) understand that this application must be complete and accurate prior to a hearing being scheduled. I (we) authorize Town staff to visit the site as necessary for proper review of this application.

(If there are special conditions such as guard dogs, locked gates, restricted hours, etc., please give the name and phone number of the person(s) who can provide access to the site)

Robert Ward
Name (printed)

Trent Kite
Name (printed)

Address 1909 Horseshoe Trail, Silt 8052

Address 1909 Horseshoe Trail, Silt 8052

Phone 970-948-7401

Phone 970-404-5503

Fax _____

Fax _____

Signature Robert Ward

Signature Trent Kite

Type of Identification _____

County of Garfield

State of Colorado

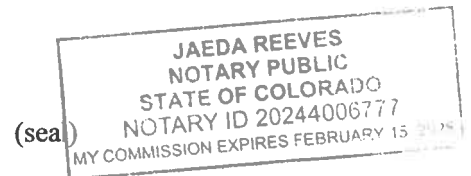
ss.

Sworn to and subscribed before me this 20 day of January, 2025
(fill in day) (fill in month) (fill in year)

By Jaeda Reeves
(name printed)

Witness my hand and official seal.
Jaeda Reeves
Notary Public

My Commission expires: February 15th 2028



Authorized Representative

I/We further permit FERRY RUSCA WITH ROCKY M.T. STEEL STRCCI. to act as my/our representative in any manner regarding this application, to answer any questions and to represent me/us at any meeting(s) and public hearing(s) which may be held on this application.

NOTE: All correspondence will be sent to the authorized representative. It will be the representative's responsibility to keep the owner(s) adequately informed as to the status of the application.

BOB WARD

Name (printed)

1909 HORSESHOE TRAIL SILT, CO 81652

Address

930 404 5503

Phone

Fax

Robert Ward

Signature

Colorado Drivers License

Type of Identification

County of Garfield

State of Colorado

ss.

Sworn to and subscribed before me this 20th day of January, 2025

(fill in day)

(fill in month)

(fill in year)

By Jaeda Reeves

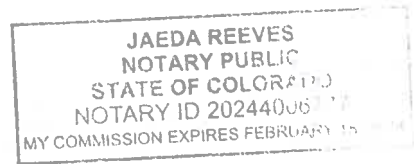
(name printed)

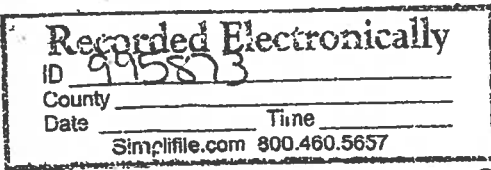
Witness my hand and official seal.

Jaeda Reeves

Notary Public

My Commission expires: February 15th 2028





SPECIAL WARRANTY DEED

Jaeger Land, LLC, hereinafter referred to as "Grantor", for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, grants, bargains, sells, conveys and confirms unto Eco-Matrix, LLC, a Colorado limited liability company, hereinafter "Grantee", whose address is P. O. Box 963, Silt, CO 81652, its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the County of Garfield and State of Colorado described as follows:

**Lot 94
Lyon Subdivision Planned Unit Development
According to the plat thereof recorded December 8, 1994 as Reception No. 471909.
County of Garfield**

also known by street and number: 1909 Horseshoe Trail, Silt, CO 81652

TOGETHER with all and singular the hereditaments and appurtenances thereunto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the Grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the Grantees, its successors and assigns forever. The Grantor(s), for themselves, its successors, and personal representatives, successors and assigns do covenant and agree that they shall and will WARRANT AND FOREVER DEFEND the above bargained premises in the quiet and peaceable possession of the Grantees, its successors and assigns, against all and every person or persons claiming the whole or any part thereof, by, through or under the Grantor(s); excepting from the Grantor's warranty, general taxes and assessments for the year 2024 and subsequent years; and "subject to statutory exceptions" as defined in § 38-30-113(5)(a), C.R.S.

WITNESS Grantor's hand this 7th day of May, 2024.

Jaeger Land, LLC

By: [Signature]
Randy Jaeger, Member/Manager

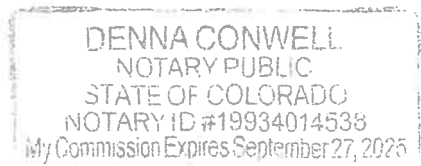
By: [Signature]
Ramona Jaeger, Member/Manager

STATE OF COLORADO
COUNTY OF GARFIELD

The foregoing instrument was acknowledged before me this 7th day of May, 2024, by Randy Jaeger and Ramona Jaeger, Member/Managers of Jaeger Land, LLC.

[Signature]
Notary's Official Signature

My Commission Expires: 09-27-2025



SPECIAL WARRANTY DEED

Jaeger Land, LLC, hereinafter referred to as "Grantor", for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, grants, bargains, sells, conveys and confirms unto Eco-Matrix, LLC, a Colorado limited liability company, hereinafter "Grantee", whose address is P. O. Box 963, Silt, CO 81652, its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the County of Garfield and State of Colorado described as follows:

Lot 94

Lyon Subdivision Planned Unit Development

According to the plat thereof recorded December 8, 1994 as Reception No. 471909.

County of Garfield

also known by street and number: 1909 Horseshoe Trail, Silt, CO 81652

TOGETHER with all and singular the hereditaments and appurtenances thereunto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the Grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the Grantees, its successors and assigns forever. The Grantor(s), for themselves, its successors, and personal representatives, successors and assigns do covenant and agree that they shall and will WARRANT AND FOREVER DEFEND the above bargained premises in the quiet and peaceable possession of the Grantees, its successors and assigns, against all and every person or persons claiming the whole or any part thereof, by, through or under the Grantor(s); excepting from the Grantor's warranty, general taxes and assessments for the year 2024 and subsequent years; and "subject to statutory exceptions" as defined in § 38-30-113(5)(a), C.R.S.

WITNESS Grantor's hand this 7th day of May, 2024.

Jaeger Land, LLC

By: 
Randy Jaeger, Member/Manager

By: 
Ramona Jaeger, Member/Manager


STATE OF COLORADO
COUNTY OF GARFIELD

The foregoing instrument was acknowledged before me this 7th day of May, 2024, by Randy Jaeger and Ramona Jaeger, Member/Managers of Jaeger Land, LLC.


Notary's Official Signature

My Commission Expires: 09-27-2025

DENNA CONWELL
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID #19934014538
My Commission Expires September 27, 2025



**ROCKY MOUNTAIN
STEEL STRUCTURES, INC.**

PO BOX 715 SILT, CO 81652 / PHONE 970-876-5878 FAX 970-876-5877 / rmss@sopris.net

12/31/24

TO WHOM THIS MAY CONCERN.

I AM JERRY RUSCH, OWNER OF ROCKY MOUNTAIN STEEL STRUCTURES, INC.
WE ARE A LICENSED, COMMERCIAL GENERAL CONTRACTOR LOCATED AT 1810
MEDICINE BOW CT. IN SILT. CO.

MY CLIENT, BOB WARD WITH ECOMATRIX, LOCATED AT 1909 HORSESHOE TR. SILT, CO.
81652, WISHES TO ENCLOSE THE EXISTING LEAN-TO AND CREATE THREE OFFICE SPACES
FOR HIMSELF AND EMPLOYEES. THE EXISTING SLAB WILL NEED TO BE FROST
PROTECTED ON THREE SIDES, THE SHEETING ON THE WALLS WILL MATCH THE
EXISTING BUILDING WITH NO ADDITIONAL ENTRY DOORS. WE CURRENTLY HAVE ONE
ADA PARKING SPACE AND FOUR REGULAR SPACES AND SINCE THE OCCUPANCY WILL
NOT EXCEED THREE PEOPLE, NO ADDITIONAL PARKING SPACES ARE NEEDED. THE NEW
AREA WILL BE HEATED AND COOLED WITH THREE MINI-SPLIT UNITS. THE WALLS AND
ROOF WILL BE INSULATED TO CODE. THE SHOP SPACE WILL REMAIN S-1 WITH THE
ENCLOSED LEAN-TO (B).

PLEASE SEE THE ATTACHED ARCHITECTURAL, CIVIL AND ILC DRAWINGS.

PLEASE FEEL FREE TO CALL ME WITH ANY QUESTIONS OR CONCERNS.

THANK YOU FOR YOUR HELP AND SUPPORT,

JERRY RUSCH
ROCKY MOUNTAIN STEEL STRUCTURES
970-989-0330
rmss@sopris.net



Improvement Location Certificate

Lot 94, Lyon Subdivision P.U.D.
 Situated in Section 11
 Township 6 South, Range 92 West of the 6th P.M.
 Town of Silt, County of Garfield, State of Colorado

Improvement Location Certificate: (Pursuant to C.R.S. 38-51-108)

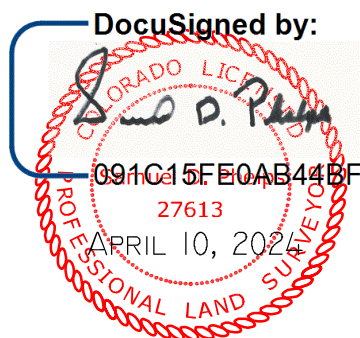
I hereby certify that this Improvement Location Certificate was prepared by SurvCo, Inc., for Jaeger Land, LLC, that it is not a land survey plat or improvement survey plat and that it is not to be relied upon for the establishment of fence, building, or other future improvement lines. This certificate is valid only for use by Jaeger Land, LLC and describes the parcels appearance on August 02, 2021.
 I further certify that the improvements on the above described parcel on this date, April 10, 2024, except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises, except as indicated, and that there is no apparent evidence or sign of any easement crossing or burdening any part of said parcel, except as noted.

DocuSigned by:

By: Samuel D. Phelps
 Colorado Licensed Professional
 Land Surveyor No. 27613

For and on behalf of SurvCo, Inc.
 A Colorado corporation

Date of certification: April 10, 2024



Surveyor's notes:

- 1) This improvement location certificate does not represent a title search by this land surveyor or land surveying company. No title insurance commitment was reviewed in preparation of this Certificate.
- 2) This property may be subject to mineral right reservations and US patent rights.
- 3) This property is subject to protective covenants, plat notes and P.U.D. restrictions as noted on the record plat of the subject property. (Lyon Subdivision P.U.D., Rec. No. 471909).
- 4) This improvement location certificate is based upon the monumentation found in the field as indicated hereon and the record plat for the subject property.
- 5) Date of field survey: April 09, 2024
- 6) All linear dimensions shown hereon are in US survey feet.

Notice: (Pursuant to C.R.S. 13-80-105):

According to Colorado law you must commence any legal action based upon any defect in this Improvement Location Certificate within three years after you first discover such defect. In no event may any action based upon any defect in this improvement location certificate be commenced more than ten years from the date of certification shown hereon.

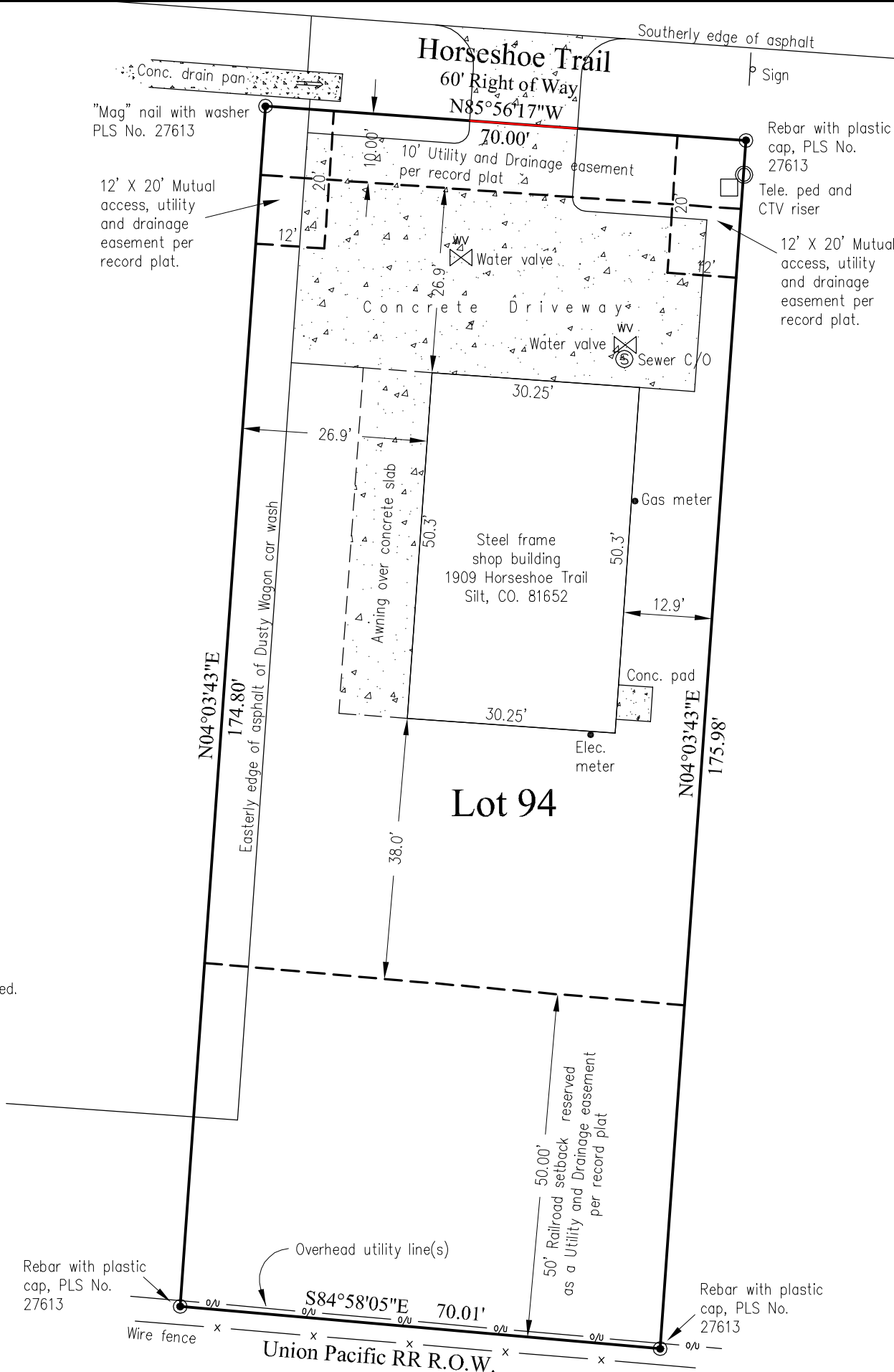
Street address:

1909 Horseshoe Trail
 Silt CO. 81652
 (Within municipal limits)

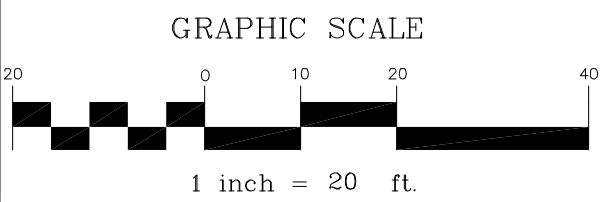
Legal description:

Lot 94
 Lyon Subdivision P.U.D.
 according to the plat thereof as
 filed for record Dec. 08, 1994
 under Reception No. 471909.
 Containing 12,277 sq. ft as platted.

Town of Silt
 County of Garfield
 State of Colorado



SurvCo, Inc.
 Professional Land Surveying Services
 "Serving Western Colorado since 1991"
 826-1/2 Grand Avenue
 Post Office Box 2782
 Glenwood Springs, CO. 81602-2782
 Phone: (970) 945-5945 Email: survco@gmail.com



Sheet 1 of 1	Client: Jaeger Land, LLC	Date: August 3, 2021			
	Drawn By: S. Phelps	Job No.: 96.125	.dwg file: 96.125.094.1		
			NO.	BY	DATE
					REVISION DESCRIPTION

General Notes:

The purpose of these drawings is to graphically depict the general nature of the work to be performed. The Contractor shall confirm dimensions and select fabrication processes and techniques prior to construction.

All construction and materials shall be in accordance with all applicable codes, ordinances, laws, permits, and contract documents.

The contractor shall confine his or her operations on the worksite to those areas previously agreed on with the owner.

All materials stored on site shall be properly stacked and protected to prevent damage and deterioration. Failure to protect material may be cause for rejection of work.

The contractor shall verify all field dimensions and conditions, and shall notify the architect of any variations from those items shown herein.

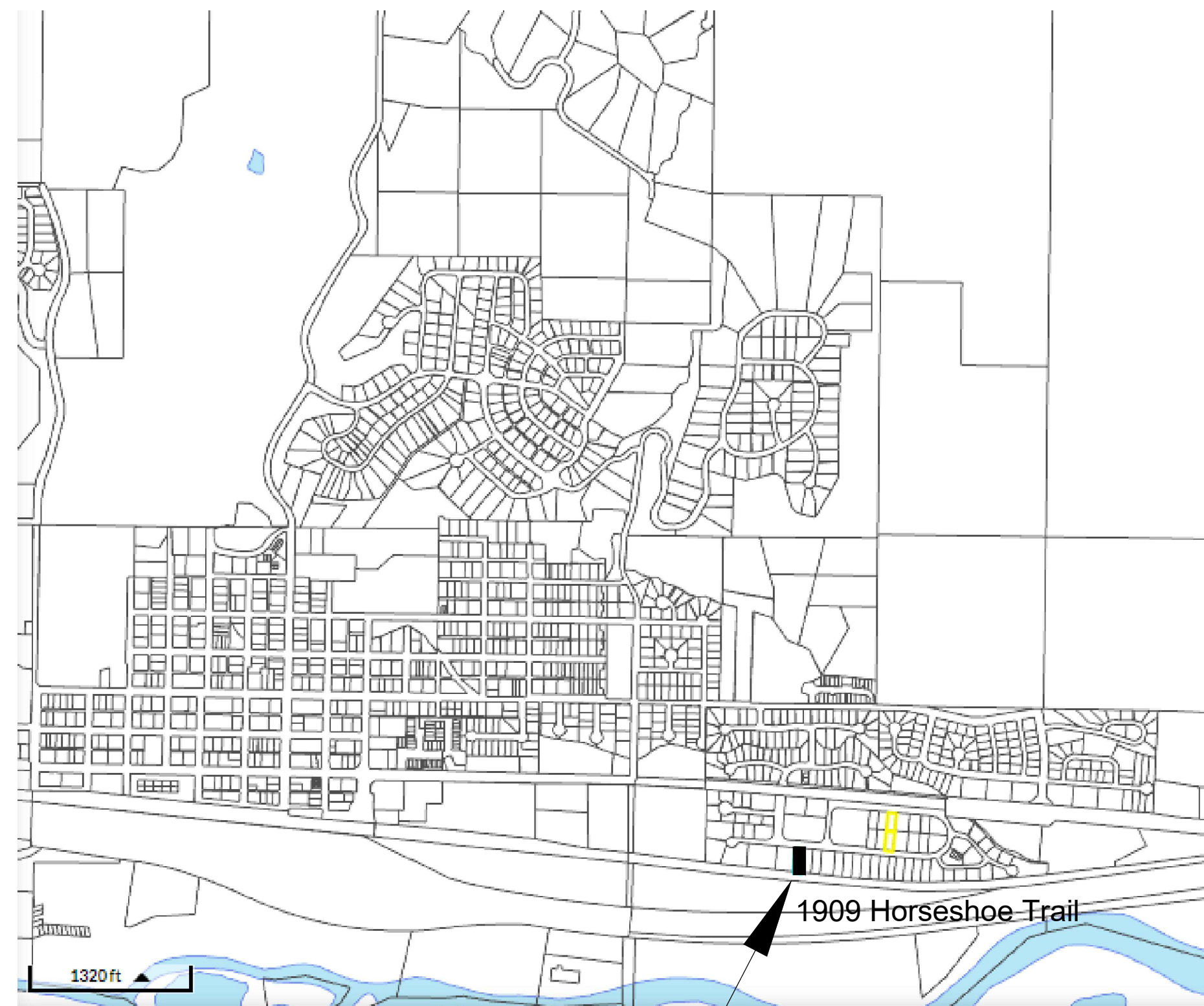
The jobsite shall be maintained in a clean, ordered condition, free of debris and litter. The jobsite shall not be unreasonably encumbered with any materials or equipment. Each subcontractor, immediately upon completing each phase of his or her work, shall remove all trash and debris as a result of his or her operation.

The contractor shall do all cutting, fitting or patching of his or her work that may be required to make its several parts to fit together properly. The contractor shall not endanger any other work by cutting, excavating, or otherwise altering the total work or any other part of it. All patching, repairing and replacing of materials and surfaces cut or damaged in execution of work shall be done with applicable materials so that surfaces replaced will, upon completion, match surrounding similar surfaces.

Mechanical subcontractor shall be responsible for designing and installing a code compliant heating and ventilation system. Plumbing subcontractor shall be responsible designing and installing a code compliant water, drain lines, and proper venting. Electrical subcontractor shall be responsible for designing and installing a code compliant electrical system.

The Contractor shall provide all necessary blocking, backing, and framing for bathroom accessories, handrails, guardrails, electrical fixtures, mechanical equipment, recessed items, and any other

The Contractor shall be responsible for arranging all necessary inspections required by Town of Silt prior to covering any such portions of work.



Location Map

PROJECT DATA:

BUILDING AREA: 2,126 SF

APPLICABLE BUILDING CODES:

BUILDING: 2015 INTERNATIONAL BUILDING CODE
 FIRE: 2015 INTERNATIONAL FIRE CODE
 PLUMBING: 2015 INTERNATIONAL PLUMBING CODE
 ENERGY: 2009 INTERNATIONAL ENERGY CONSERVATION CODE
 MECHANICAL: 2015 INTERNATIONAL MECHANICAL CODE
 FUEL / GAS: 2015 INTERNATIONAL FUEL GAS CODE

USE AND OCCUPANCY CLASSIFICATION

OCCUPANCY GROUP: S2
 DESCRIPTION OF OCCUPANCY: storage warehouse
 ACCESSORY OCCUPANCIES: B (warehouse)

GENERAL BUILDING HEIGHTS AND AREAS

	ALLOWABLE	SHOWN ON PLANS
HEIGHT	60'	25'-1 9/16"
STORIES	S2(2)	1
SF	S2(27K)	2,000

TYPE OF CONSTRUCTION

TYPE OF CONSTRUCTION: V-B

FIRE-RESISTANCE RATING REQS FOR BUILDING ELEMENTS (TABLE 601)

STRUCTURAL FRAME	0
EXTERIOR BEARING WALLS	0
INTERIOR BEARING WALLS	0
EXTERIOR NON-BEARING WALLS	0
INTERIOR NON-BEARING WALLS	0
FLOOR CONSTRUCTION	0
ROOF CONSTRUCTION	0

Shaft enclosures are required to have a 1 hour fire resistance rating. (713.4)

Penetrations of fire rated walls shall be protected. (714.3)

Penetrations of fire rated ceilings shall be protected. (714.4)

Ducts & air transfer openings through fire assemblies are required to be protected. (717)

FIRE AND SMOKE PROTECTION FEATURES

ALLOWABLE WALL OPENING AREA (TABLE 705.8)

	FIRE SEPARATION DISTANCE	OPENING PROTECTION	ALLOWABLE AREA
NORTH	> 15'-0"	UP, NS	NO LIMIT
EAST	10' < x < 15'	UP, NS	15% (143.6 SF)
SOUTH	> 30'-0"	UP, NS	NO LIMIT
WEST	> 30'-0"	UP, NS	NO LIMIT

FIRE PROTECTION SYSTEMS

NONE PROVIDED

OCCUPANCY CALCULATIONS PER TABLE 1004.1.2

FUNCTION/USE:	SF PER OCC:	AREA:	OCCUPANTS:
STORAGE SHOP	300	1,500 SF	5
OFFICE	150	500 SF	4
TOTAL:			9

MEANS OF EGRESS

EXITS REQ'D: 3
 EXITS PROVIDED: 3
 EXIT WIDTH: 3 DOORS = 110"

DOORS:

1. All Main Floor doors and hardware shall be in compliance with ANSI A117.1 2009 standard

MAXIMUM EXIT TRAVEL DISTANCE (TABLE 1017.2):
 SI; NO SPRINKLER SYSTEM = 200'

IECC 2009 BUILDING THERMAL ENVELOPE COMPLIANCE		CLIMATE ZONE: 5B	
OPAQUE ELEMENTS	U-VALUE / R-VALUE REQUIRED	U-VALUE / R-VALUE PROVIDED	DESCRIPTION
ROOF / INSULATION	R-19	R-13 + R-13	R-13 LINER SYSTEM - THERMAL BLOCKS - R-13 BOTTOM LAYER
EXTERIOR WALLS ABOVE GRADE	R-13 + R-5.6ci	R-13 + R-13	R-13 OVER GIRTS - R-13 IN WALL CAVITY
SLAB ON GRADE / UNHEATED	R-10; to 24" below		1 1/2" HIGH DENSITY XPS STEM WALL PERIMETER
OPAQUE DOORS / SWINGING	U-0.70	U-0.45	A60 GALV. HM DOORS WITH POLYSTYRENE CORE
GARAGE DOORS / OVERHEAD	U-0.50	U-0.45	STEEL SECTIONAL OVERHEAD DOOR WITH POLYSTYRENE CORE
WINDOWS / FIXED & SLIDERS	U-0.55 SHGC-0.40		VERIFY COMPLIANCE IN FIELD

WALL AND CEILING FINISHES

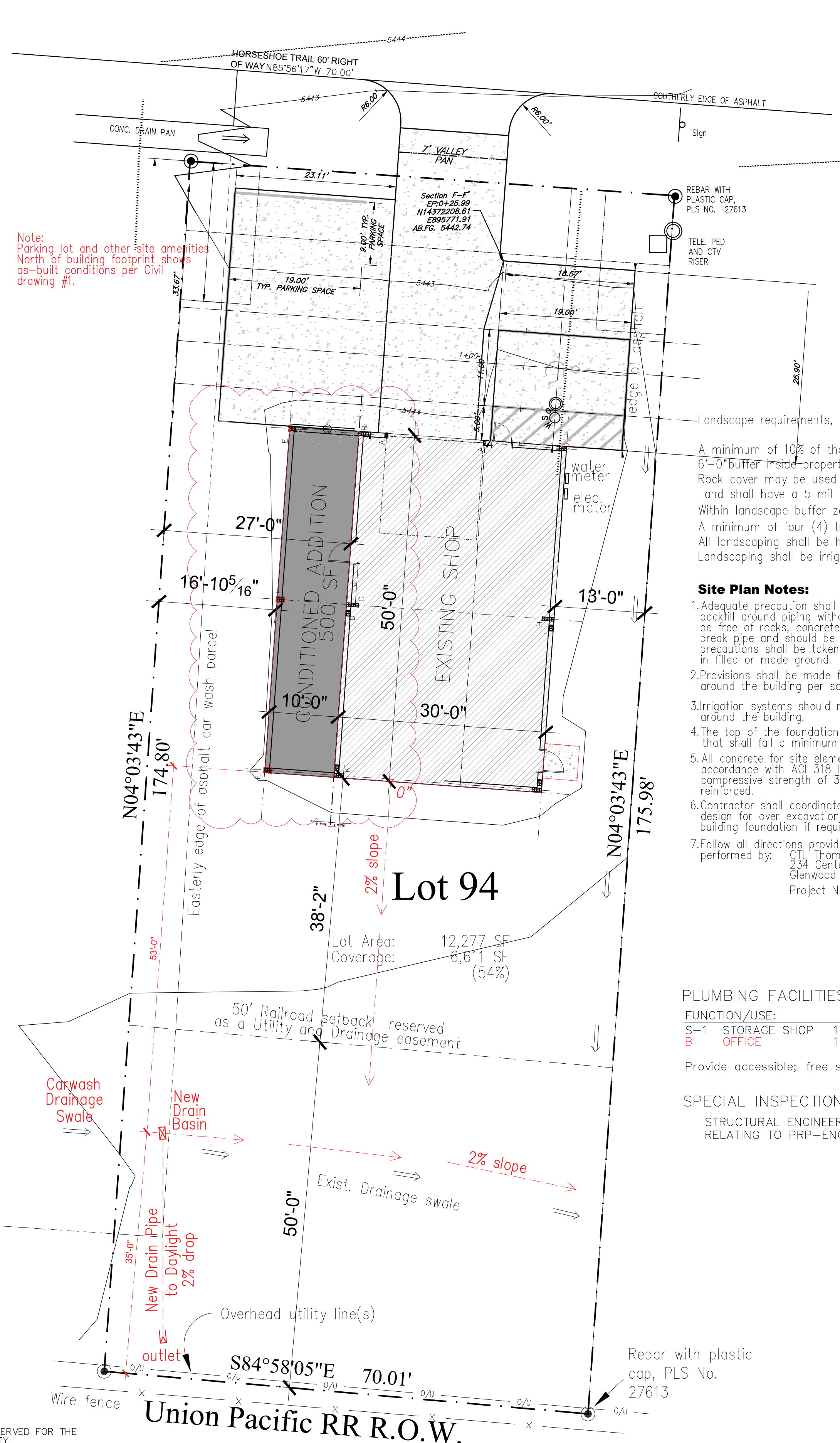
All interior finish materials shall comply with Class designation of flame spread and smoke-developed indexes, as tested in accordance to 2015 IBC Section 803.1.2

GROUP S, nonsprinklered, rooms & enclosed spaces
 Class Spread C flame spread index 76-200
 smoke-developed index 0-450

Project to comply with IECC 2009 requirements including but not limited to, HVAC (heating and AC) system compliance with Manual J, building thermal envelope air leakage sealing to limit infiltration, duct insulation R values, duct leakage and testing for conditioned and unconditioned spaces, programmable thermostats, low efficacy light bulbs, sealed crawl space and attic access openings, mechanical ventilation gravity dampers, energy efficiency certificate in the electrical panel, hot water pipe insulation, etc.

ACCESSIBILITY NOTES:

- ACCESSIBLE PARKING SPACE SHALL BE DESIGNATED AS RESERVED FOR THE DISABLED BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY.
- PARKING ACCESS AISLES SHALL BE PART OF AN ACCESS ROUTE TO THE BUILDING OR FACILITY ENTRANCE. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 IN ALL DIRECTIONS.



Note: Parking lot and other site amenities North of building footprint shows as-built conditions per Civil drawing #1.

Landscape requirements, per ordinance 19-08 include:

- A minimum of 10% of the lot shall be landscaped
- 6'-0" buffer inside property line to edge of road
- Rock cover may be used in the landscape area, and shall have a 5 mil minimum weed barrier
- Within landscape buffer zone proved trees, 1 1/2" diameter min. at 20' o.c.
- A minimum of four (4) trees and eight (8) one gallon shrubs shall be provided
- All landscaping shall be healthy and well kept
- Landscaping shall be irrigated

Site Plan Notes:

- Adequate precaution shall be taken to insure proper compactness of backfill around piping without damage to such piping. Backfill shall be free of rocks, concrete or other rubble which may damage or break pipe and should be placed in the trench in 6" layers. Suitable precautions shall be taken to insure permanent stability for pipe laid in filled or made ground.
- Provisions shall be made for the control and drainage of water around the building per soils report (see note 7) and Sec. 1804.4 IBC 2015
- Irrigation systems should not be installed in the immediate area around the building.
- The top of the foundation wall shall set at an elevation to provide grade that shall fall a minimum of 6 inches within the first 10 feet.
- All concrete for site elements shall be mixed and placed in accordance with ACI 318 latest edition, shall develop a minimum compressive strength of 3,500 PSI at 28 days, and shall be reinforced.
- Contractor shall coordinate the site earthwork with the foundation design for over excavation, and structural fill placement under the building foundation if required.
- Follow all directions provided in Geotechnical Report performed by: C.T. Thompson, Inc. 234 Center Drive, Glenwood Springs, CO 81601 Project No. GS06657.000-125

PLUMBING FACILITIES

FUNCTION/USE:	WC:	LAV:	Provided:
S-1 STORAGE SHOP	1 per 100	1 per 100	yes
B OFFICE	1 per 25	1 per 40	yes

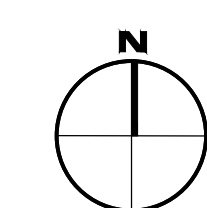
Provide accessible; free standing water cooler in shop

SPECIAL INSPECTIONS

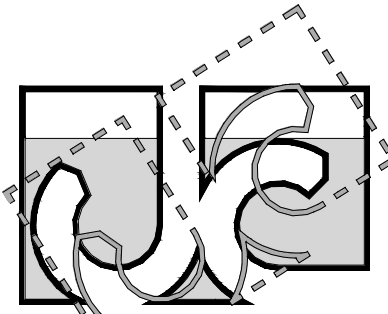
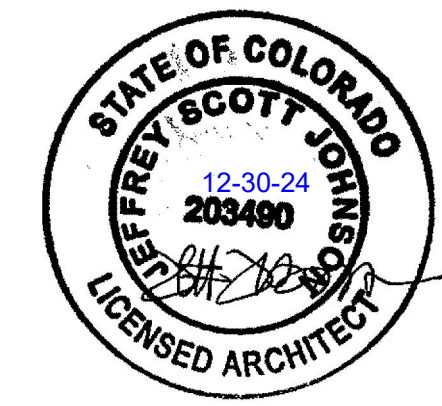
STRUCTURAL ENGINEER SHALL PROVIDE STATEMENT OF SPECIAL INSPECTIONS RELATING TO PRP-ENGINEERED METAL BUILDING AND FOUNDATION

Address 1909 Horseshoe Trail
 Parcel No. 217911201098
 Account No. R350916
 SF: 12,286

Site Plan Shop Addition



scale: 3/32" = 1'-0"



Jeff Johnson
 Architectural PC
 136 East Third Street
 Rifle, CO 81650
 970-825-0580
 jeff@jeffarchitectural.com
 Copyright 2024

Shop Addition Lot 94, Lyon Subdivision P.U.D. Silt, CO

Construction

Notes, Site Plan

Revised: 12-30-24
 Revised: 09-10-23

2409B-12-09-24

CVR

Index

CVR Notes, Site Plan & Index
 Topographical Survey

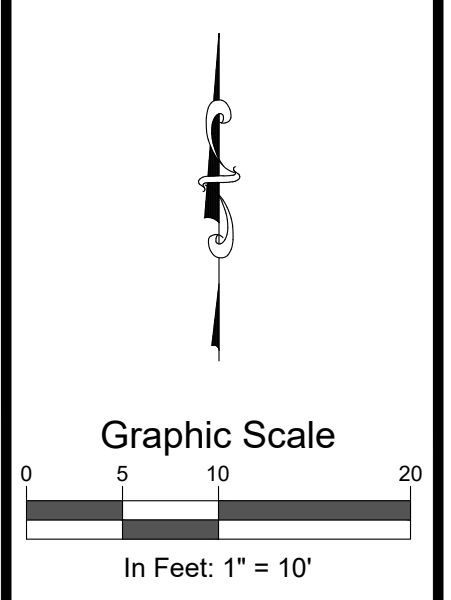
- A21 Floor Plan
- A31 Exterior Elevations
- A32 Exterior Elevations
- A41 Roof Plan, Building Section
- A42 Schedules & Assemblies
- S1.1 General Notes, Floor Framing
- S1.2 Foundation Plan & Details

All drawings, plans, and specifications are instruments of service provided by Jeff Johnson Architectural P.C. and remain the property of the Architect. These instruments of service may not be reused without written consent by Jeff Johnson Architectural P.C.

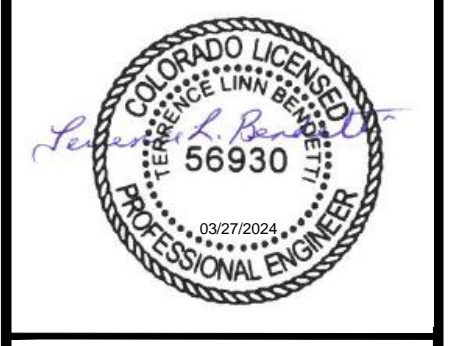
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- NOTES:
GENERAL
1. BASE MAPPING PROVIDED BY:
 - 1.1. JEFF JOHNSON ARCHITECTURE PC.
 - 1.2. SurvCo, Inc., IMPROVEMENT LOCATION CERTIFICATE.
 - 1.3. FINAL SURVEY OF COMPLETED EXTERIOR FEATURES BY CALIBER ENGINEERING, INC. ELEVATIONS OF EXTERIOR FEATURES ARE BASED OFF OF FINISHED BUILDING SLAB OF 5440.20'.
 2. CONTOUR ELEVATIONS ARE APPROXIMATE AND WERE DEVELOPED BY CONVERTING FINISHED ELEVATIONS OF CONSTRUCTED FEATURES COLLECTED FROM THE SURVEY OF NOTE 1.3 ABOVE TO THE EXISTING TOPOGRAPHY DEVELOPED FROM GOOGLE EARTH.



Caliber Engineering, Inc.
0233 County Road 265 Rife, CO
81650 970.625.4344
CaliberEngineering@outlook.com



JAEGER SHOP
LOT 94, LYON SUBDIVISION P.U.D.
SILT, COLORADO

#	Date	By	Revision
1	09/11/23	TLB	Perio moved to west side

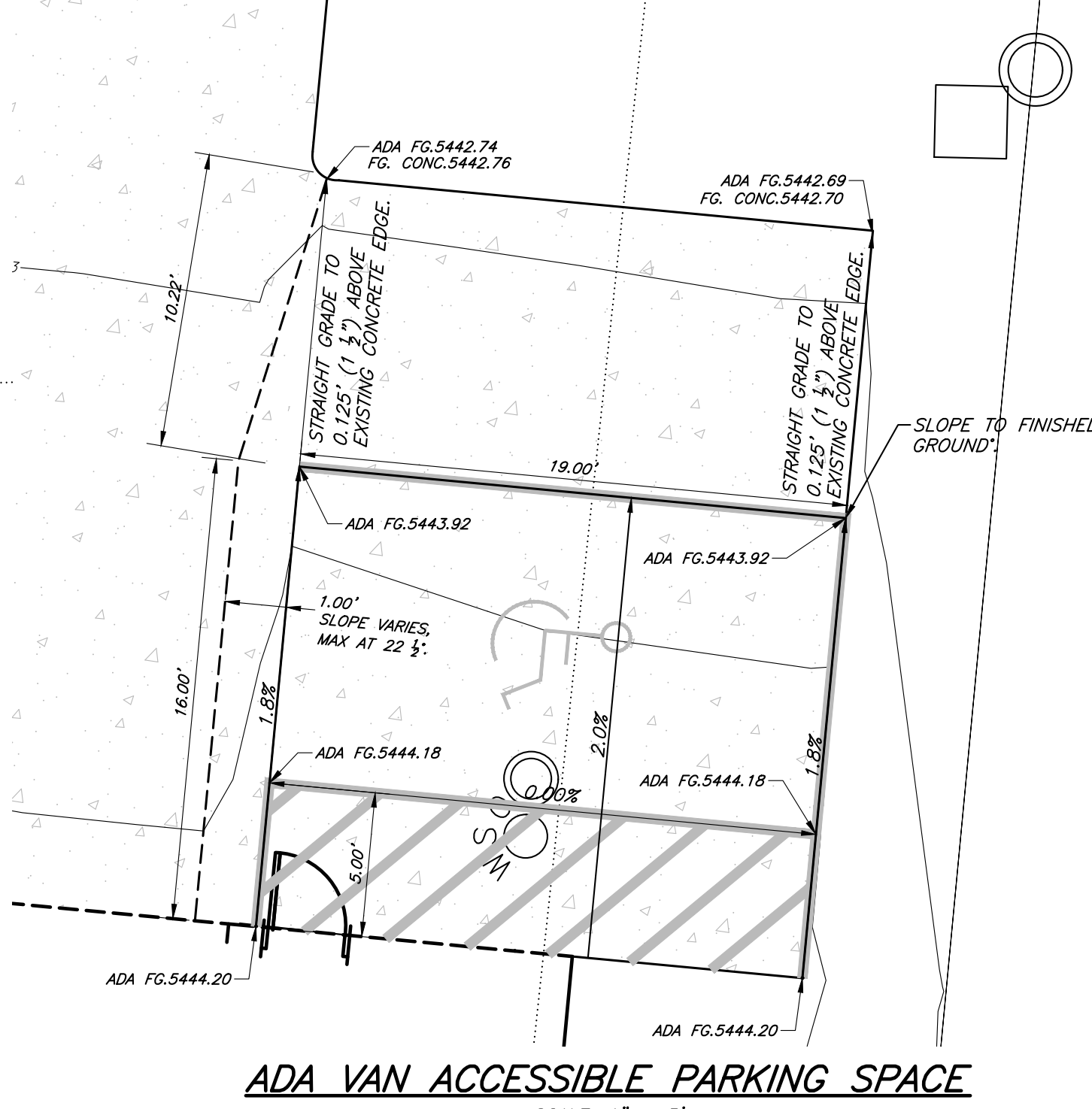
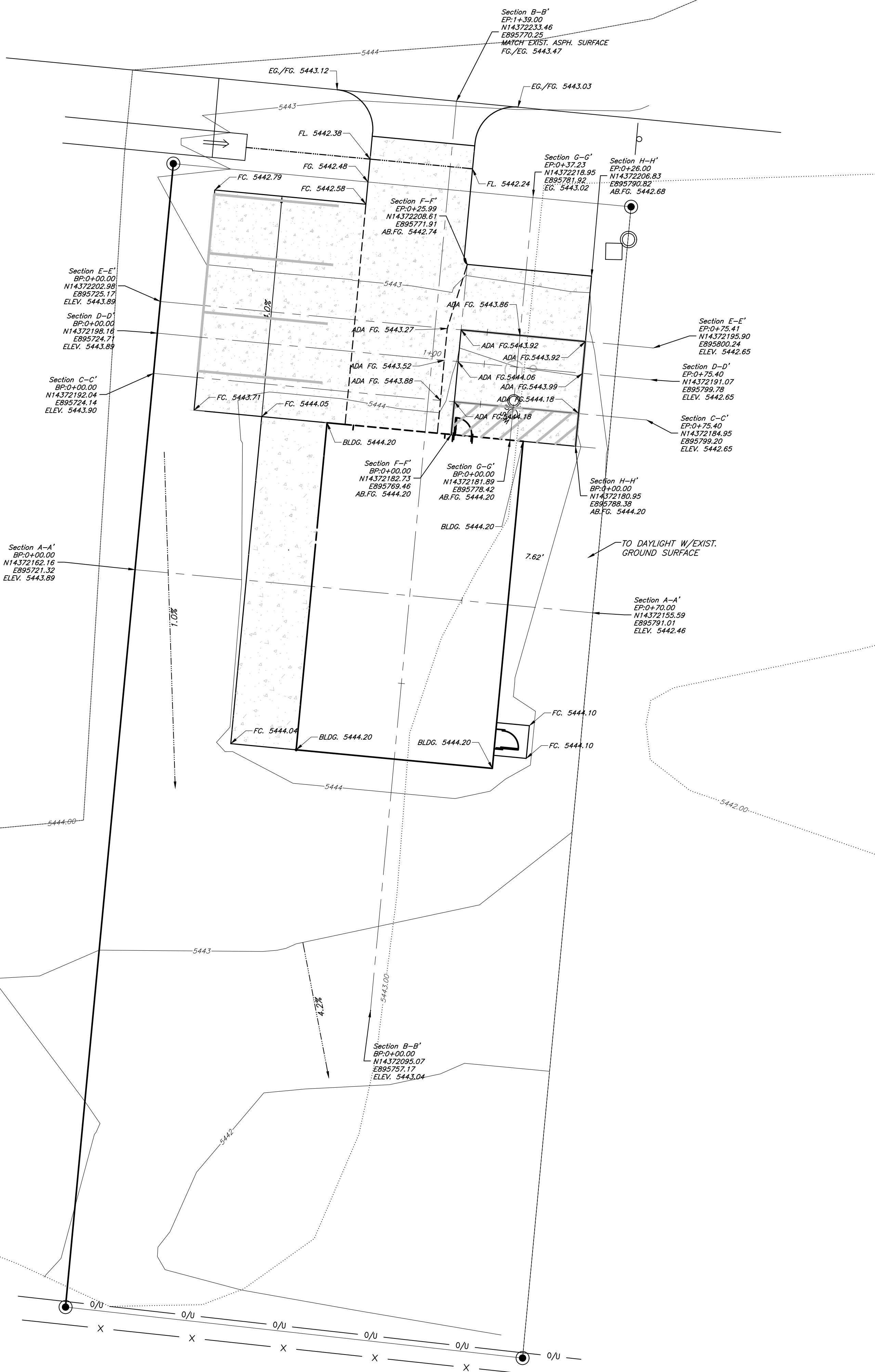
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Drawn by: TLB
Date: 08/11/2023
QC: TLB
File: Record-Drawing

Project Milestone: FOR CONSTRUCTION

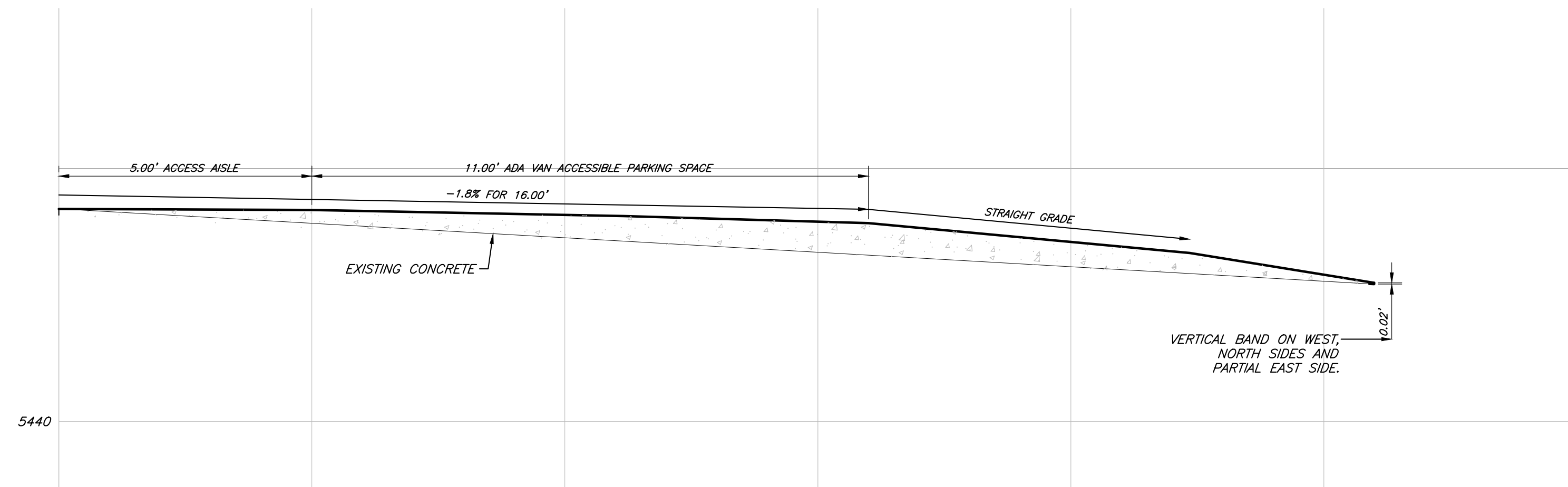
Title: Site Plan

Dwg No. 1
Of: 3

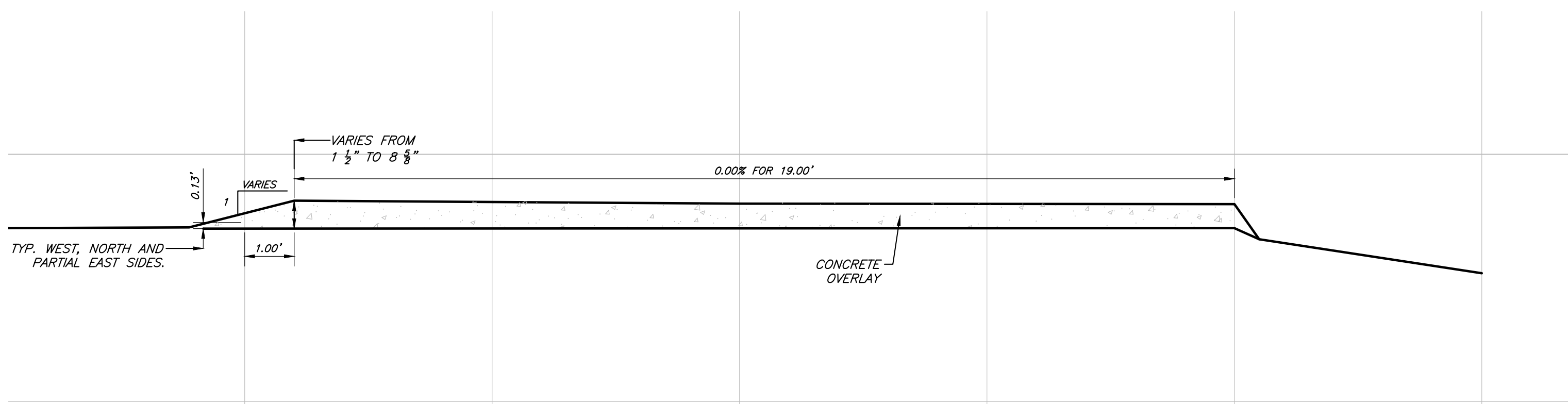
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ADA VAN ACCESSIBLE PARKING SPACE
SCALE: 1" = 5'

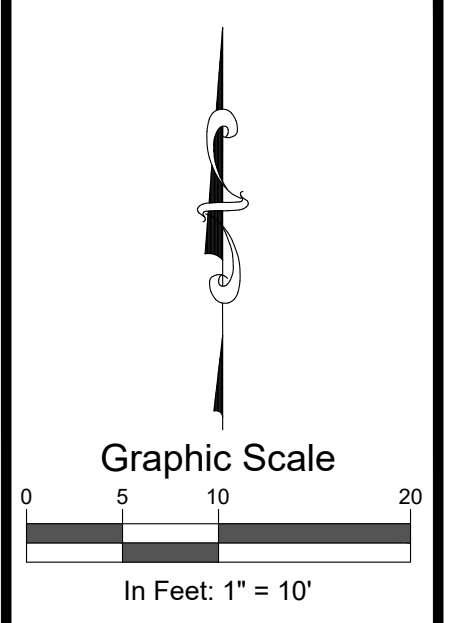


**ADA VAN ACCESSIBLE PARKING SPACE
TYPICAL NORTH/SOUTH SECTION**
SCALE: 1" = 2'



**ADA VAN ACCESSIBLE PARKING SPACE
TYPICAL EAST/WEST SECTION**
SCALE: 1" = 2'

- NOTES:
- BASE MAPPING PROVIDED BY:
 - JEFF JOHNSON ARCHITECTURAL PC.
 - SurvCo, Inc., IMPROVEMENT LOCATION CERTIFICATE.
 - AS-CONSTRUCTED ELEVATIONS PROVIDED BY CALIBER ENGINEERING, INC.
 - ADA REQUIREMENTS FOR THE VAN ACCESSIBLE PARKING SPACE ARE MET.



Caliber Engineering, Inc.
0233 County Road 265 Rifle, CO
81650 970.625.4344
CaliberEngineering@outlook.com



JAEGER SHOP
LOT 94, LYON SUBDIVISION P.U.D.
SILT, COLORADO

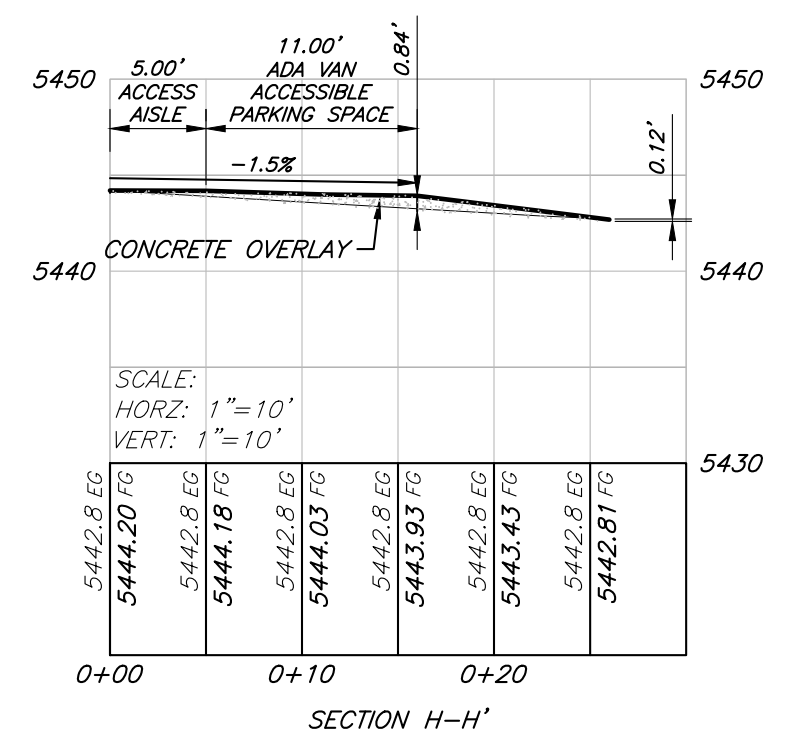
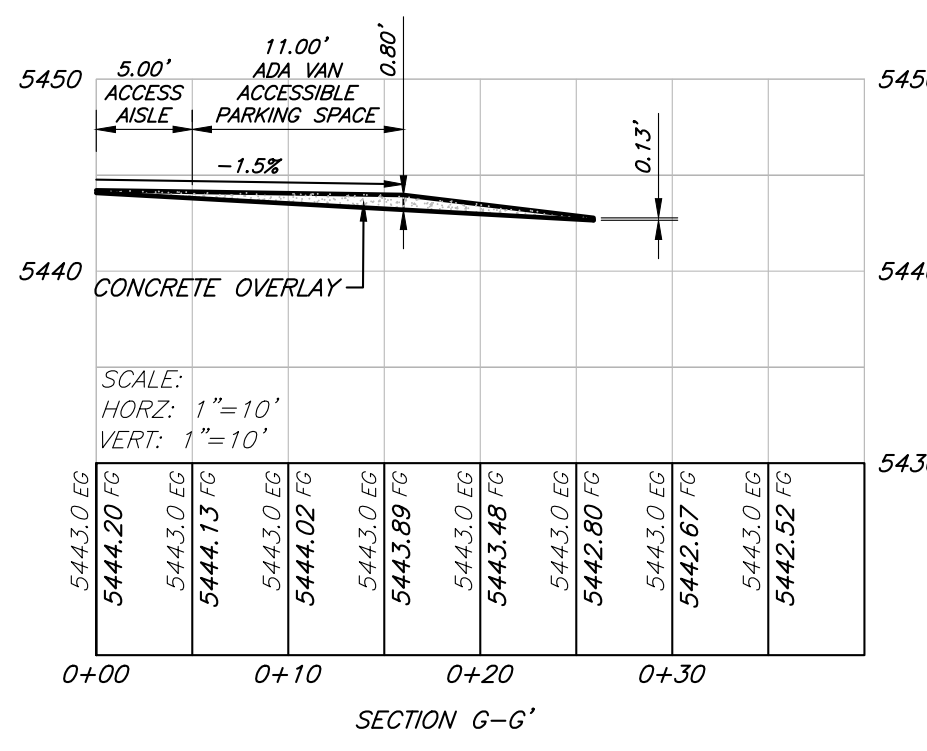
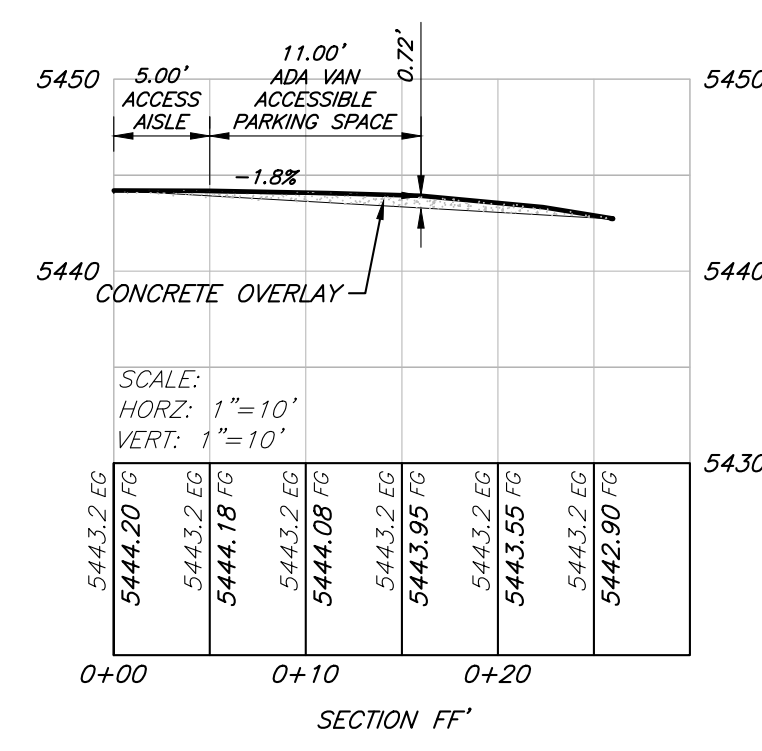
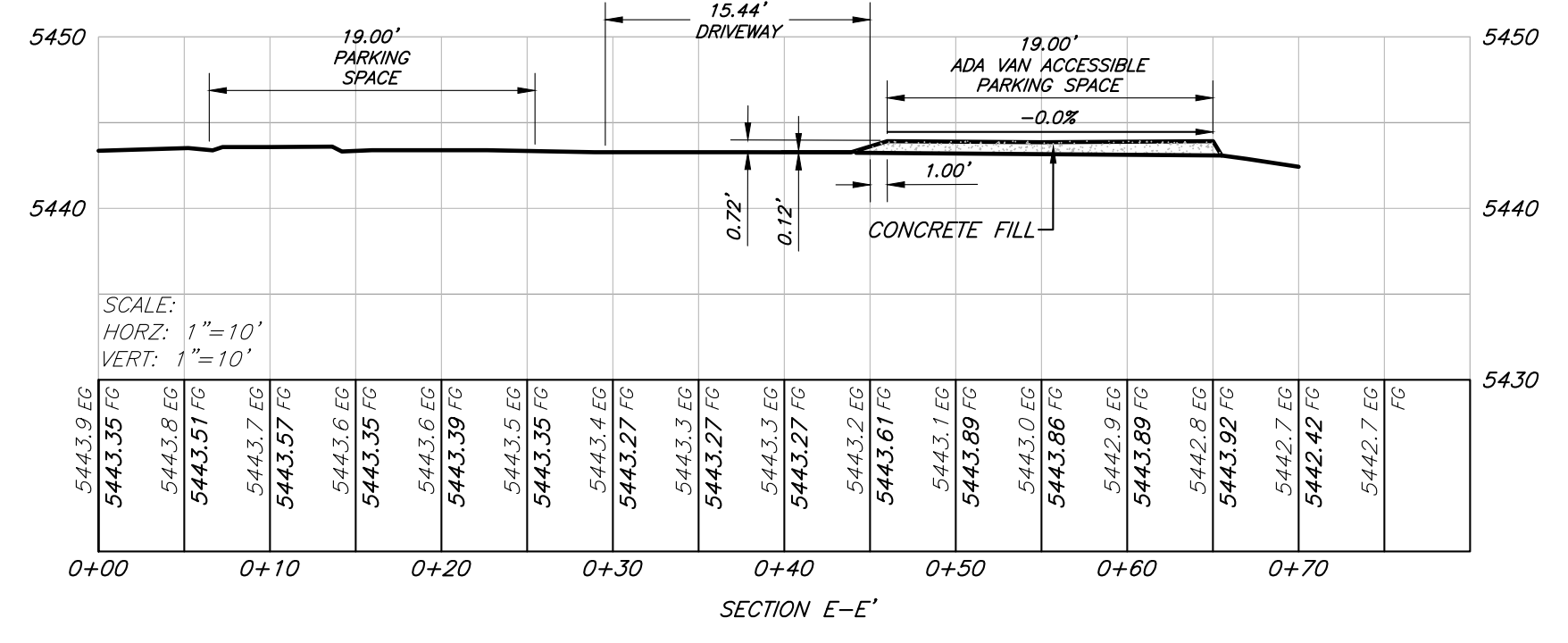
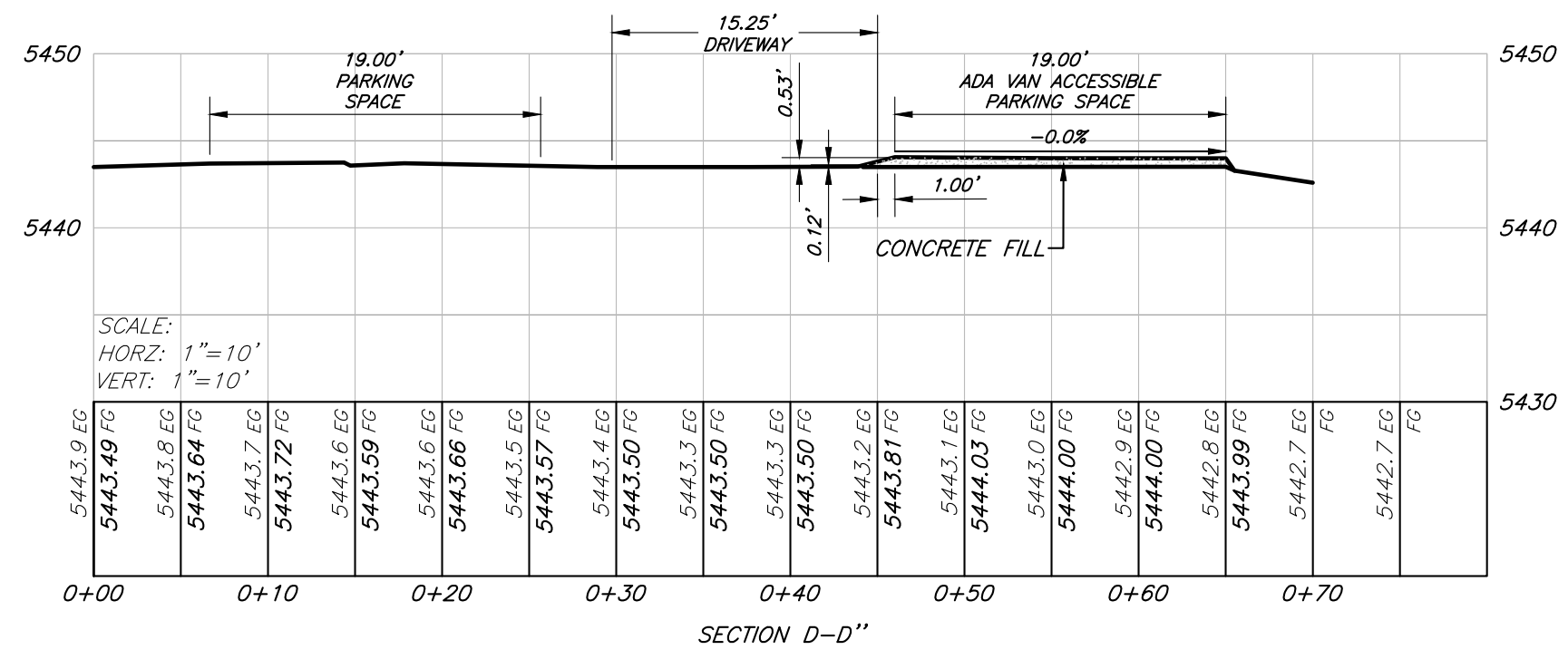
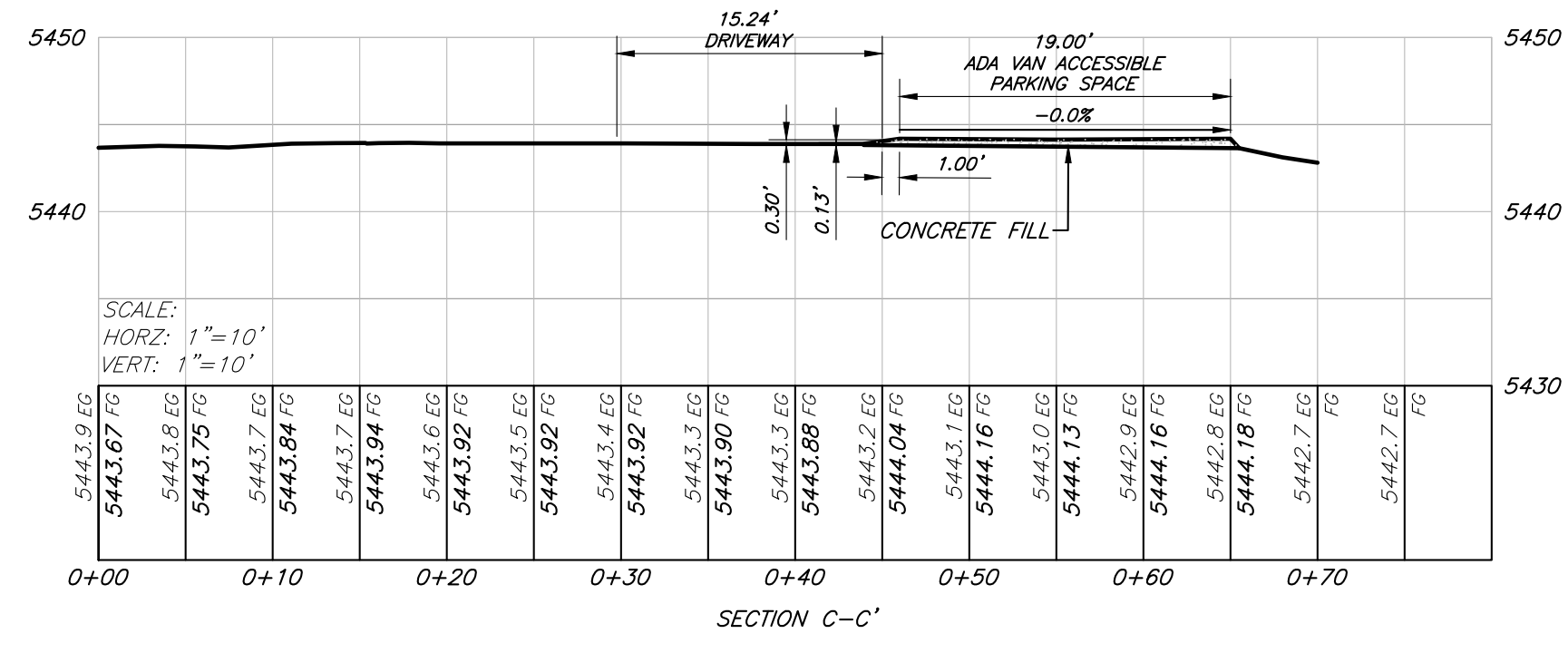
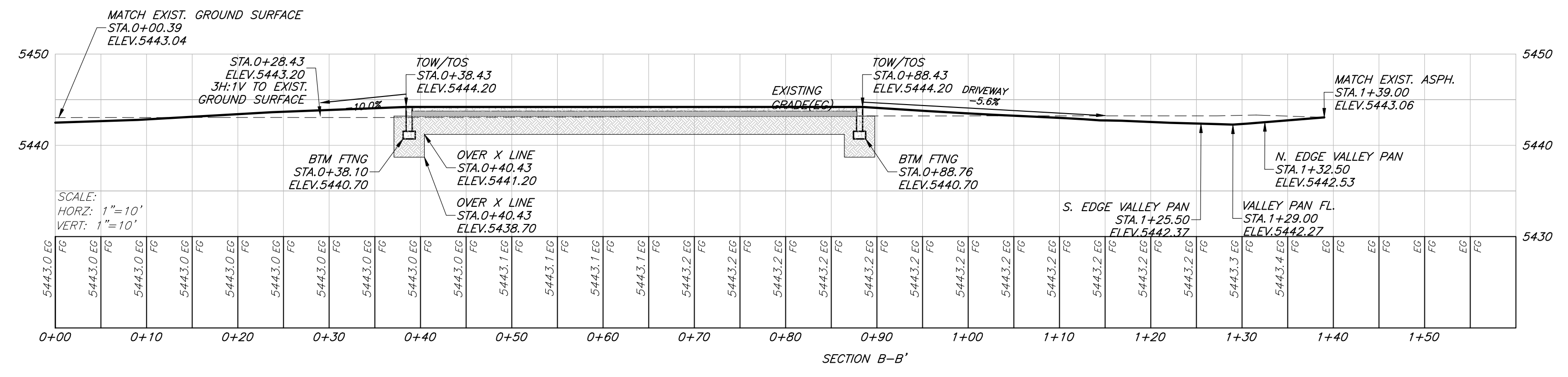
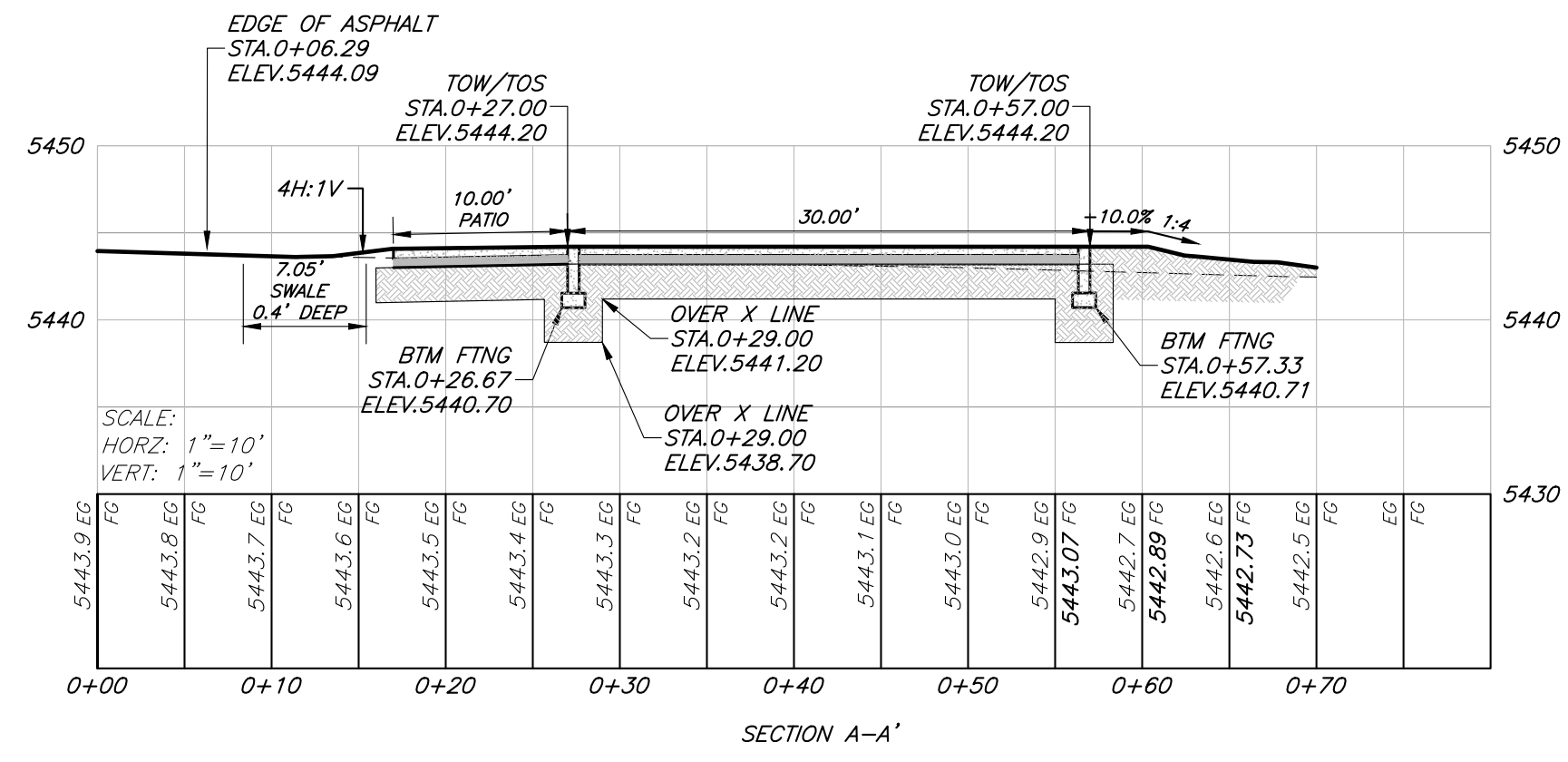
Rev.	Date	By	Description
1	09/11/23	TLB	Perio moved to west side

Job No. 2003-006.001
Drawn by: TLB
Date: 2/1/2024
QC: TLB
File: Record-Drawing

Title: **Grading Plan**

Dwg No. **2**

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Caliber Engineering, Inc.
 0233 County Road, 265 Rifle, CO
 81650 970.625.4344
 CaliberEngineering@outlook.com



JAEGER SHOP
 LOT 94, LYON SUBDIVISION P.U.D.
 SILT, COLORADO

#	Revision	Date	By
1	Perio moved to west side	09/11/23	TJB

Project Milestone: FOR CONSTRUCTION

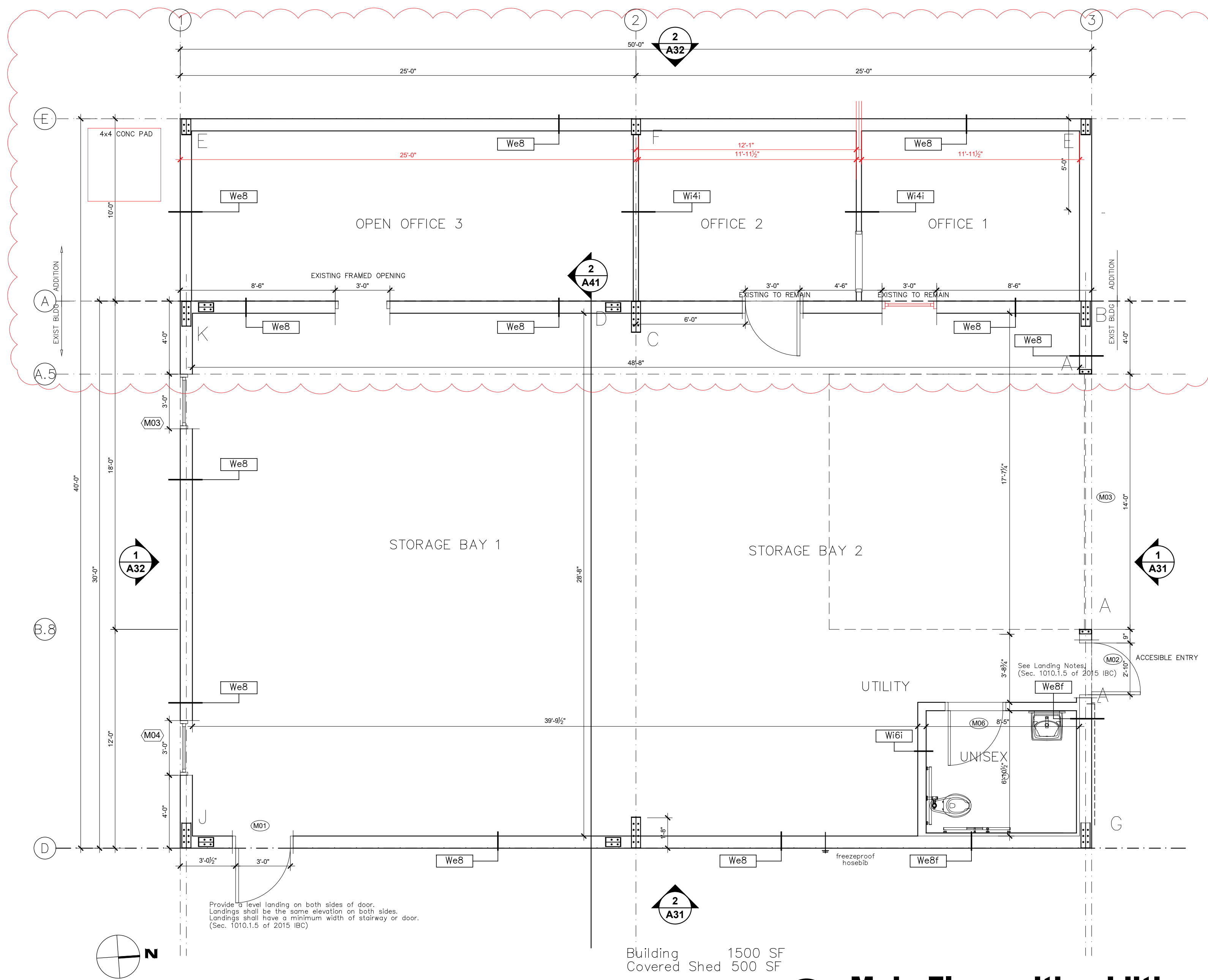
Job No: 2003-006.001
 Drawn by: TJB
 Date: 08/11/2023
 OS: PE: TJB
 File: Record-Drawing

Plan Notes:

1. Rooms shall have exterior glazing of not less than 8 percent of their floor area to provide natural light in accordance with IBC, or be provided with artificial light per IBC
2. Rooms shall be provided with natural ventilation in accordance with IBC, or they shall be provided with mechanical ventilation with IBC
3. Light and ventilation for bathrooms, water closet compartments and similar rooms shall comply with IBC.
4. Smoke alarms shall be interconnected as indicated in Section R313.1. The power source for smoke alarms shall comply with Section R313.2.
5. Toilet, bath and shower fixtures shall be spaced as per Figure R307.2 (Section R307.1).

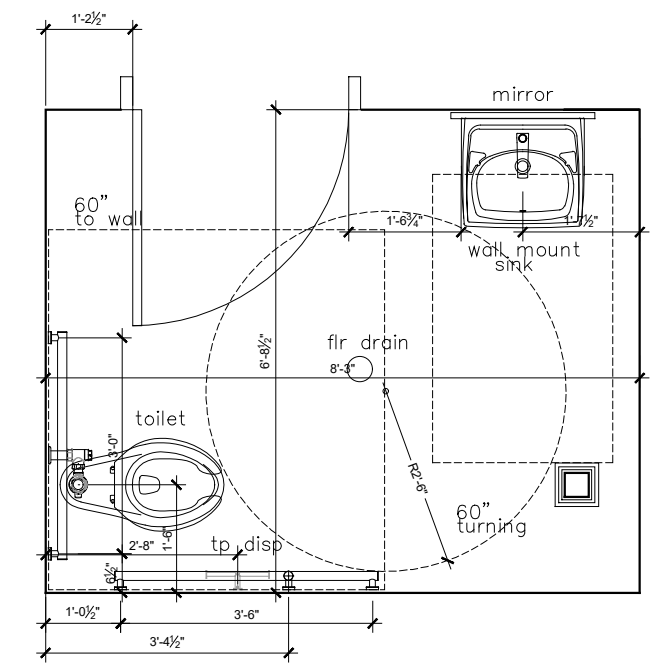
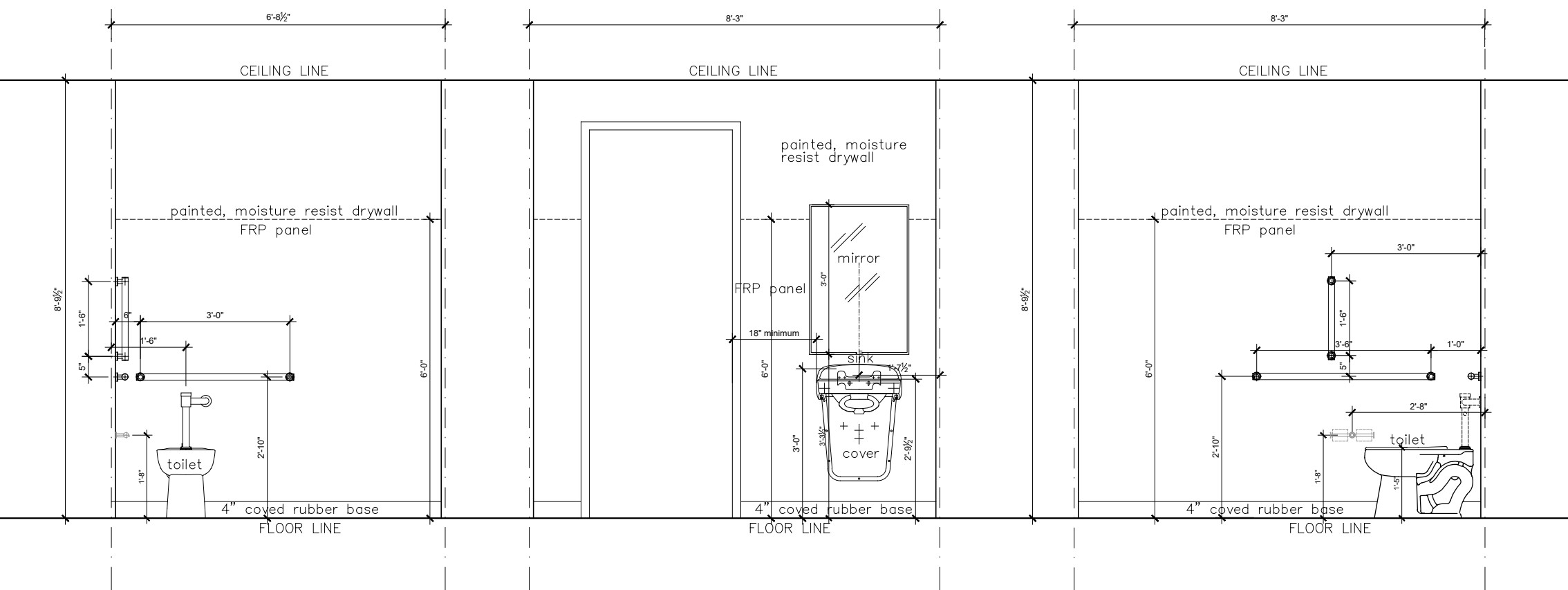
Shop Notes

1. Provide control joints in garage floor slab at 10'-0" o.c. or as otherwise specified by structural engineer.
2. Slope garage floor slab to drain toward garage doors.



Building 1500 SF
Covered Shed 500 SF
1 A21 Main Floor with addition
scale: 1/4" = 1'-0"

Fire extinguisher required to be installed in building that meets Chapter 906 of 2015 IFC.



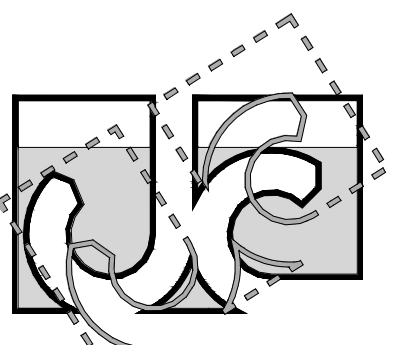
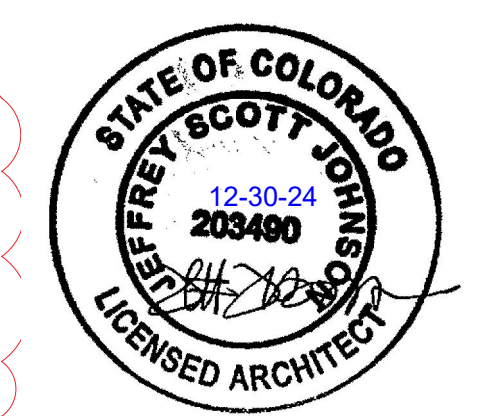
Commercial toilet rooms are required to have a smooth, hard nonabsorbent surface that extends at least 4 inches onto walls. (1210.2.1)

Walls within 2 feet of urinals and water closets in commercial toilet rooms are required to be covered with a smooth, hard nonabsorbent surface to a height of 4 feet. (1210.2.2)

Unisex
scale: 3/8" = 1'-0"

Plans based on pre-engineered structural building shop drawings.
Provided by: Wedgcor, Inc.
P.O. Box 110
Jamestown, ND 58402
Purchase Order #101610

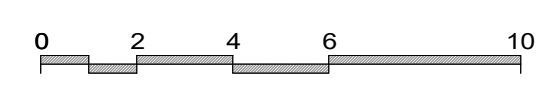
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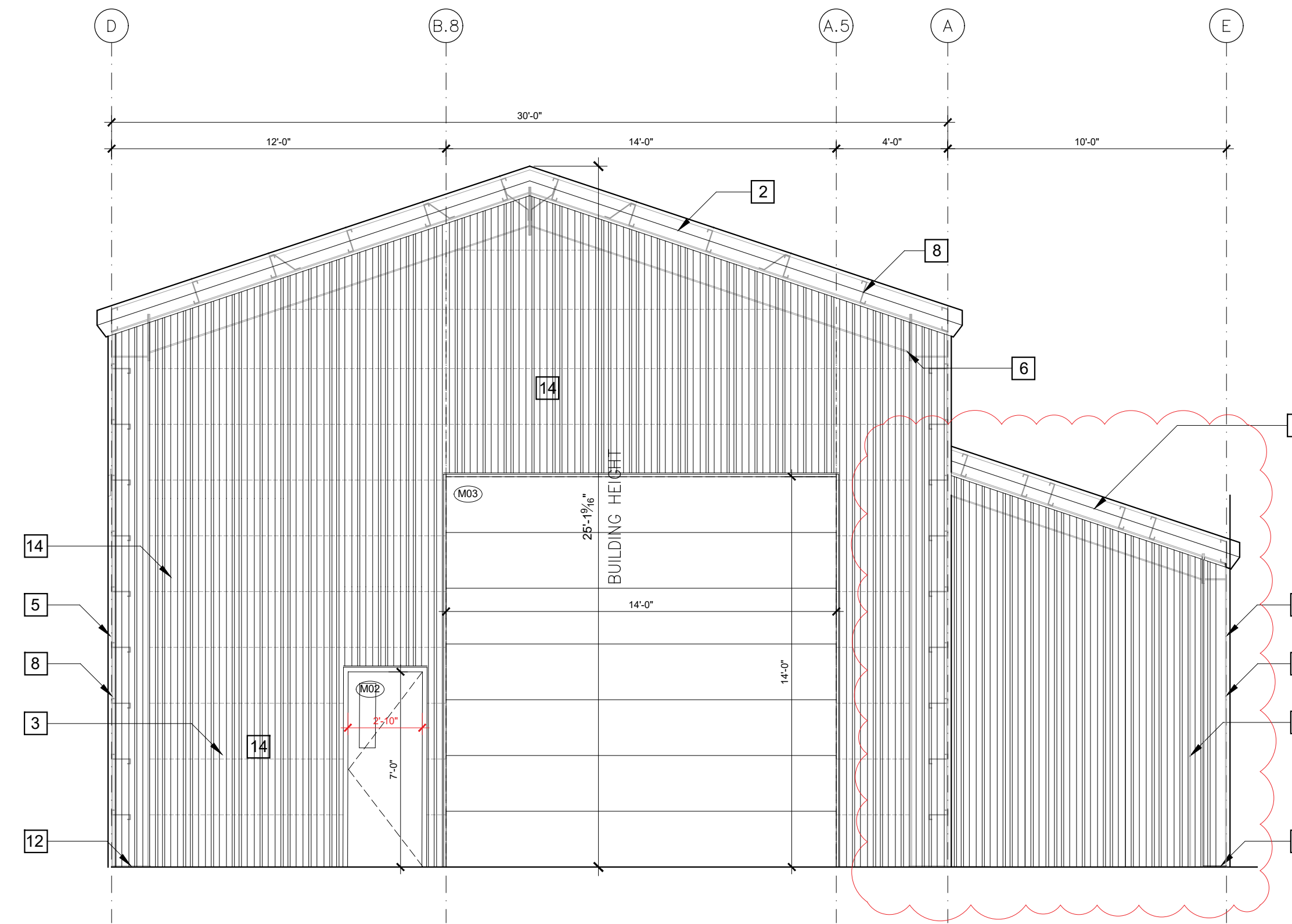


Jeff Johnson
Architectural PC
136 East Third Street
Rifle, CO 81650
970-625-0580
jeff@jarchitectural.com
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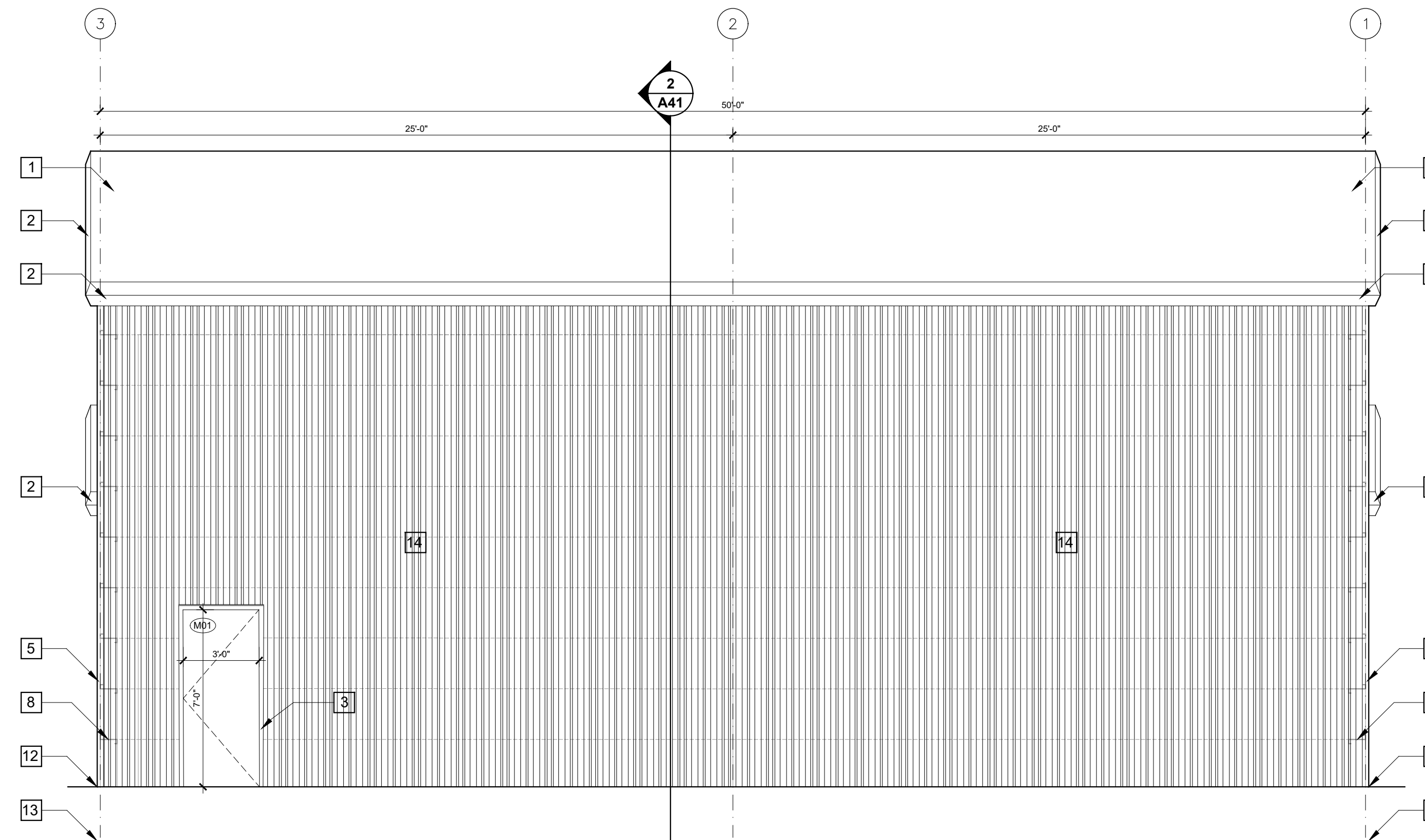
Shop Addition
Lot 94, Lyon Subdivision P.U.D.
Silt, CO

Construction
Floor Plans
Revised: 12-30-24 Revised: 09-10-23 2409B-12-09-24
A21





1 North Elevation
A31 scale: 1/4" = 1'-0"



2 East Elevation
A31 scale: 1/4" = 1'-0"

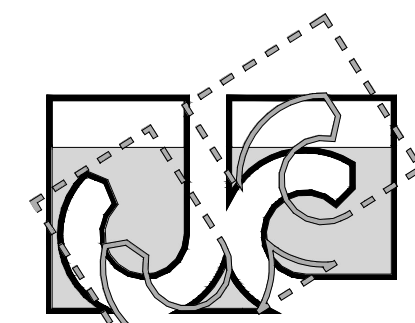
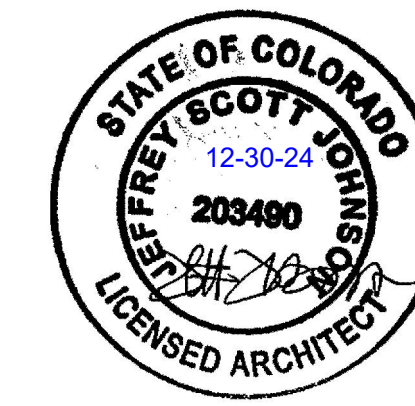
Exterior Finish Legend

1	metal roof panel
2	metal fascia
3	door/window trim
4	exterior light
5	corner trim
6	steel frame
8	wall girt/ roof purlin location
9	guard rail
10	handrail
11	stair tread
12	finish grade
13	foundation below
14	metal wall panel

Elevation Notes:

- Buildings shall have approved address numbers, building numbers or approved building identification (4 inches high minimum) placed in a position that is plainly legible and visible from the street or road fronting the property.

Building shall have address assigned and address identification as per 505.1 of the 2015 IFC.
- All utility boxes, wall vents, roof vents and plumbing stacks/risers shall be painted to compliment adjacent exterior surface color.



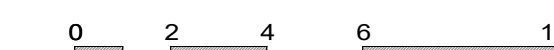
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Architectural PC
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Rifle, CO 81650
970-825-0580
jeff@jarchitectural.com
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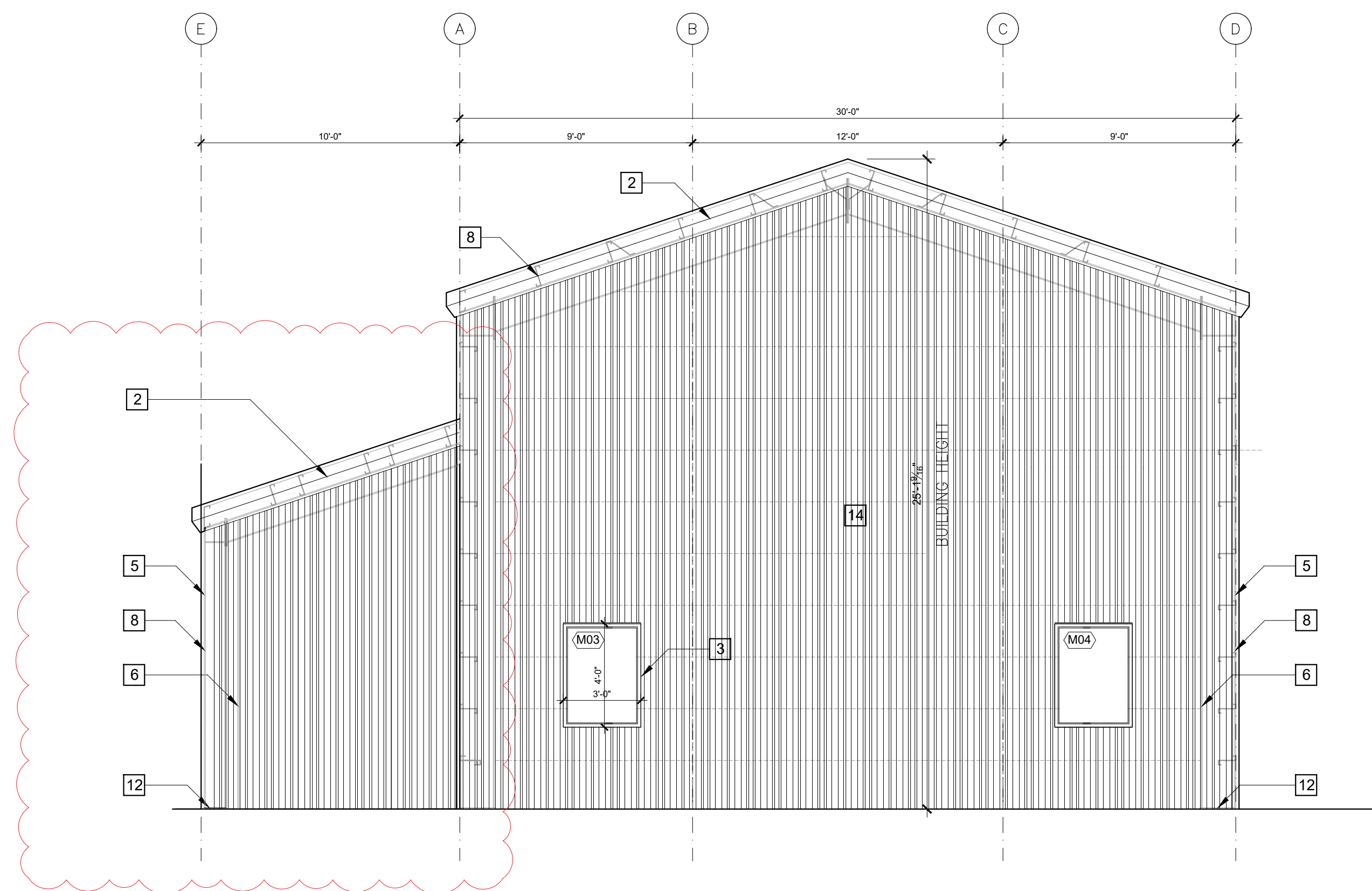
Shop Addition
Lot 94, Lyon Subdivision P.U.D.
Silt, CO

Plans based on pre-engineered structural building shop drawings.
Provided by: Wedgcor, Inc.
P.O. Box 110
Jamestown, ND 58402
Purchase Order #101610

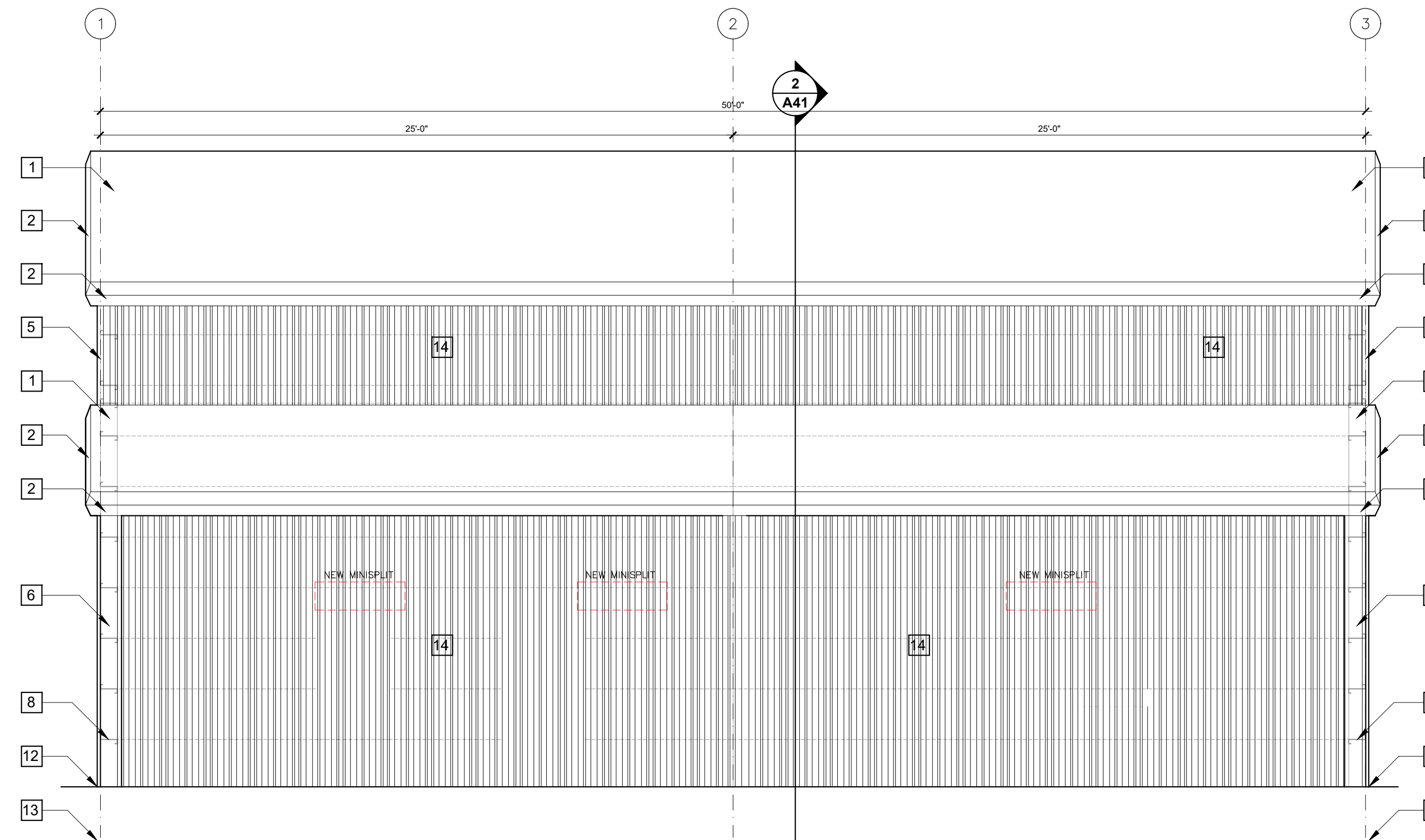
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Construction
Building Elevations
Revised: 12-30-24 Revised: 09-10-23 2409B-12-09-24
A31





1 South Elevation
A32 scale: 1/4" = 1'-0"



2 West Elevation
A32 scale: 1/4" = 1'-0"

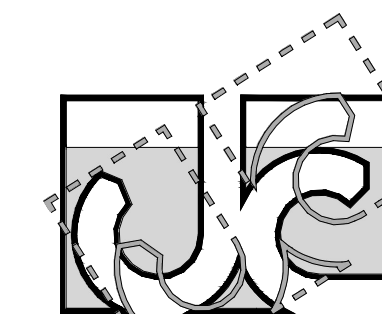
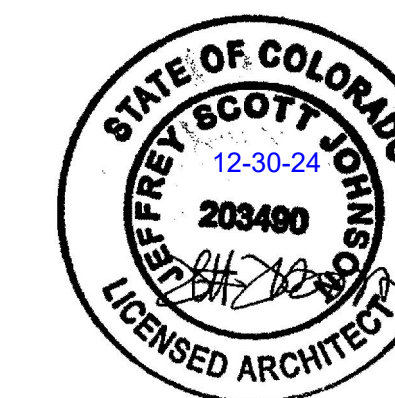
Exterior Finish Legend

1	metal roof panel
2	metal fascia
3	door/window trim
4	exterior light
5	corner trim
6	steel frame
8	wall girt/ roof purlin location
9	guard rail
10	handrail
11	stair tread
12	finish grade
13	foundation below
14	metal wall panel

Elevation Notes:

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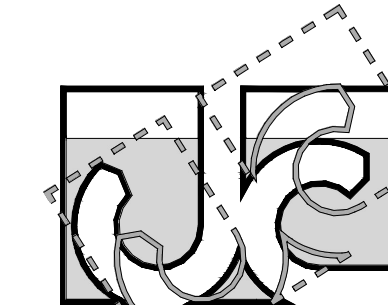
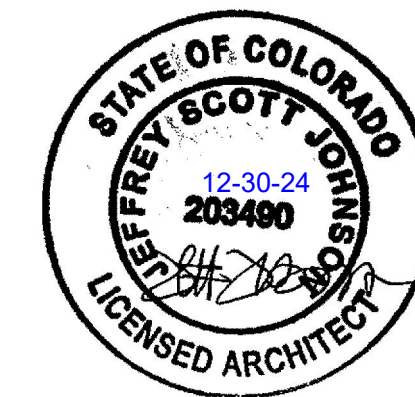
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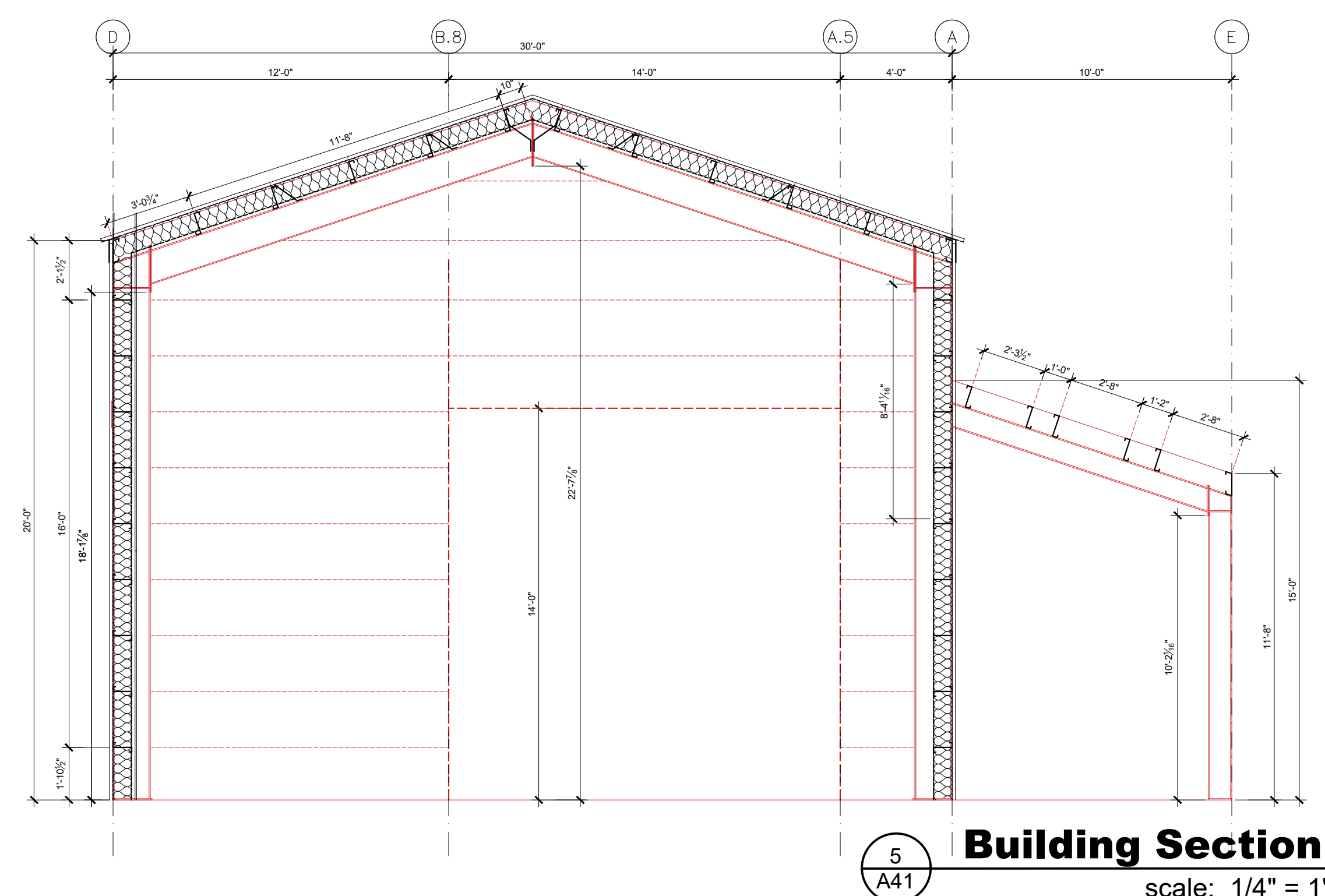
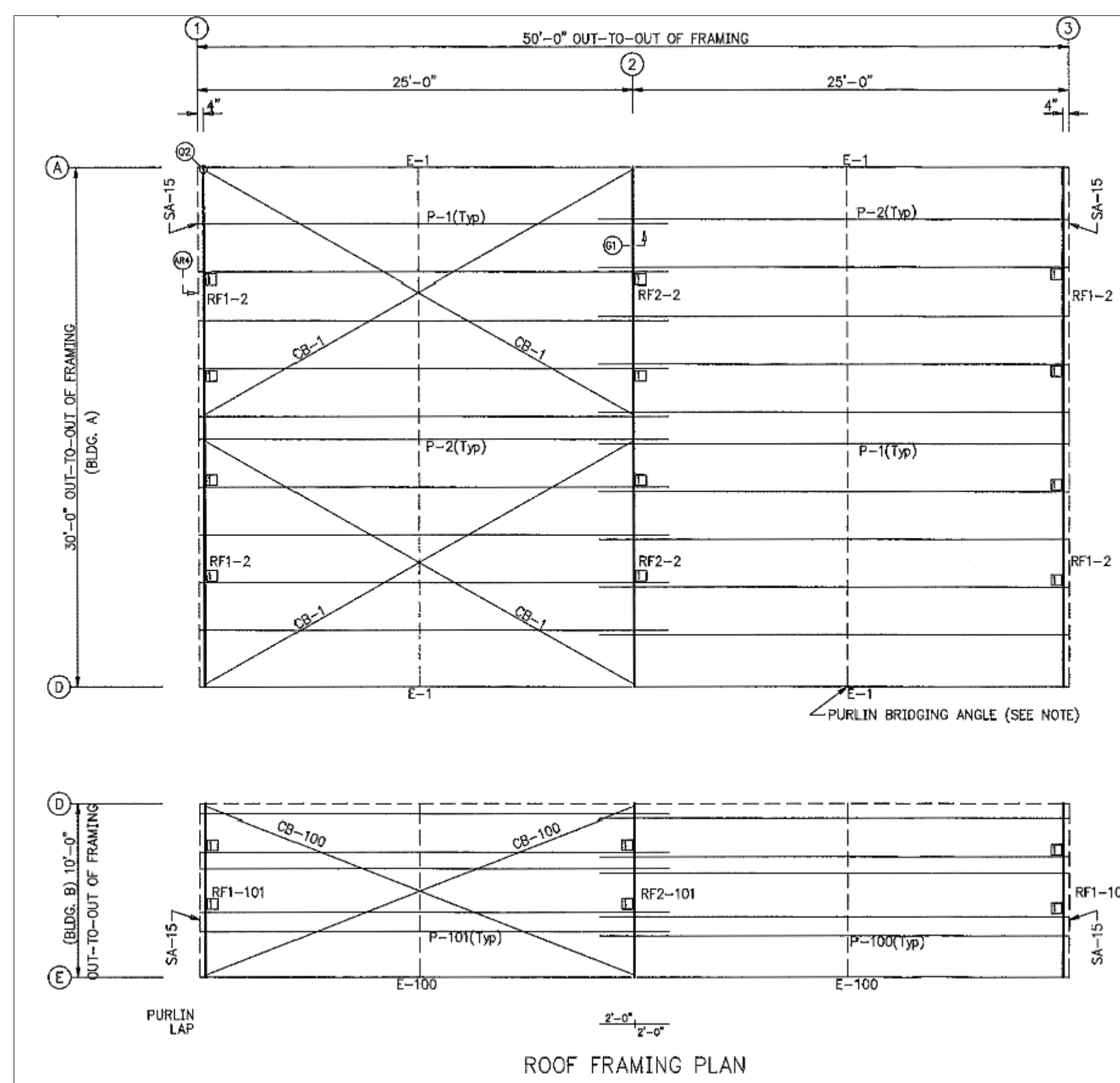
Construction
Building Elevations
Revised: 12-30-24 Revised: 09-10-23 2409B-12-09-24
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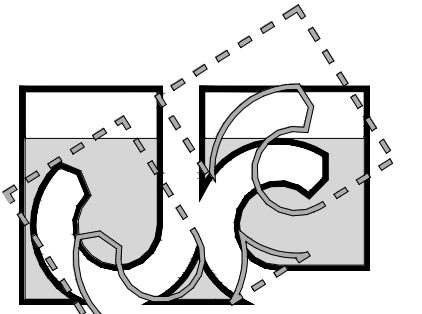
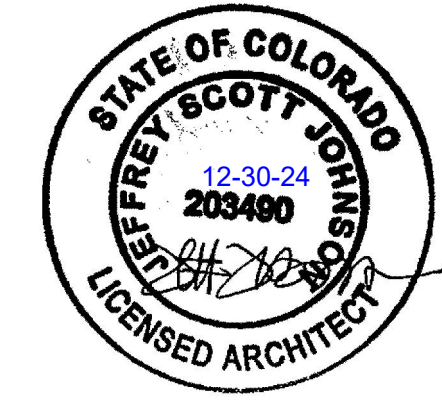
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Construction
Building Elevations
Revised: 12-30-24 Revised: 09-10-23 2409B-12-09-24
A41

Jaeger Shop Door Schedule

No.	Location		Door Size			Door Finish					Fire Rtnng	Hard ware	Remarks
	From	To	Width	Height	Thk	Type	Mat	Core	Door	Frame			
M01	Garage Bay 2	Exterior	3'-0"	7'-0"	2"	Hinged Single	Metal	Insulated	Prefinished	Metal Trim		Lockset	weatherstrip & deadbolt, see note 1
M02	Utility	Exterior	2'-10"	7'-0"	2"	Hinged Single	Metal	Insulated	Prefinished	Metal Trim		Lockset	weatherstrip, deadbolt, lite
M03	Exterior	Garage Bay 2	14'-0"	14'-0"	2"	Overhead Sectional	Metal	Insulated	Prefinished	Metal Trim		by Manuf.	garage opener, elec. stop
M04	Garage Bay 2	Exterior	3'-0"	7'-0"	2"	Hinged Single	Metal	Insulated	Prefinished	Metal Trim		Lockset	weatherstrip, deadbolt, lite
M05	NOT USED												
M06	Unisex	Utility	3'-0"	7'-0"	1-3/4"	Hinged Single	Metal	Hollow	Painted	Painted			Privacy

NOTE 1: Manually operated edge or surface-mounted flush bolts are prohibited. (1010.1.9.4)

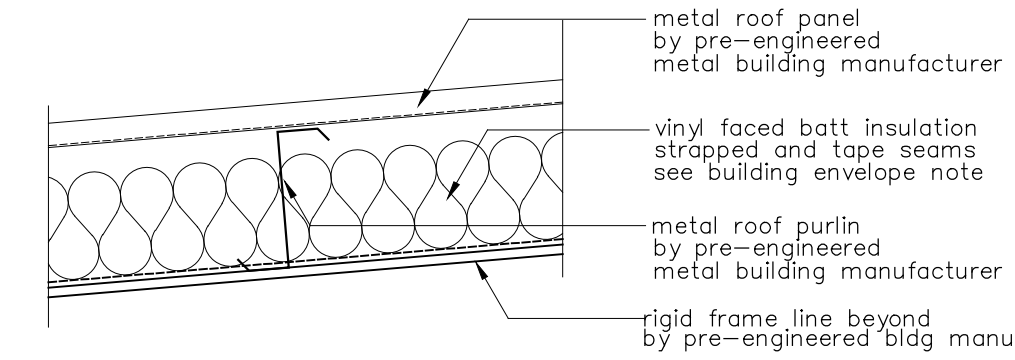


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Jaeger Shop Window Schedule

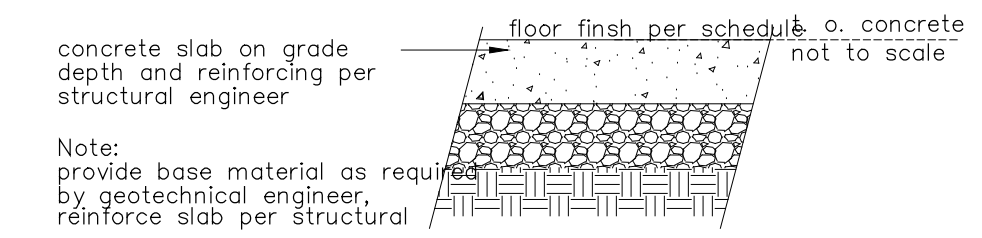
No.	Location Room	Type	Window Size	Head height	Manuf.	Mdl No.	Remarks
M01	Garage Bay 2	Fixed	3'-0" x 4'-0"	7'-0"			
M02	Garage Bay 1	Fixed	3'-0" x 4'-0"	7'-0"			
M03	Garage Bay 1	Fixed	3'-0" x 4'-0"	7'-0"			
M04	Garage Bay 1	Fixed	3'-0" x 4'-0"	7'-0"			

NOTE: All glazing in hazardous locations is required to be of safety glazing material. (2406.1 & 2406.4)

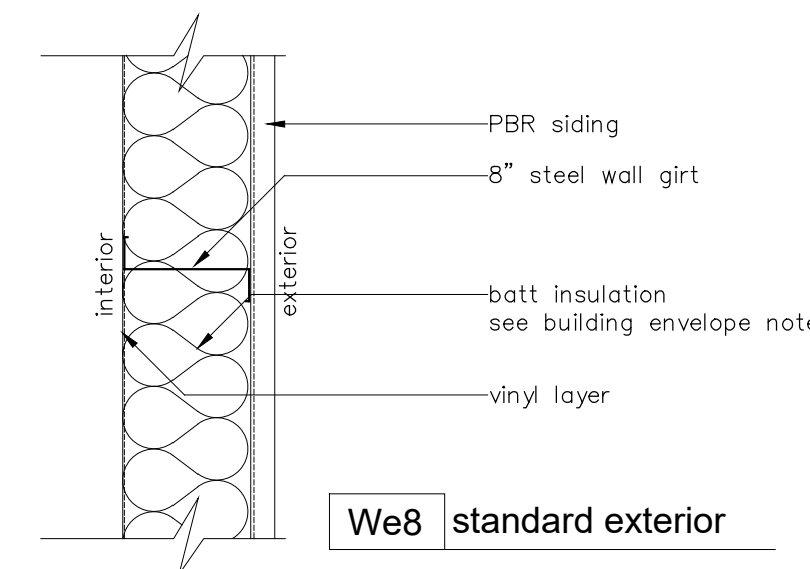


Roof Assembly

See Wall and Ceiling Finish Notes, CVR Sheet

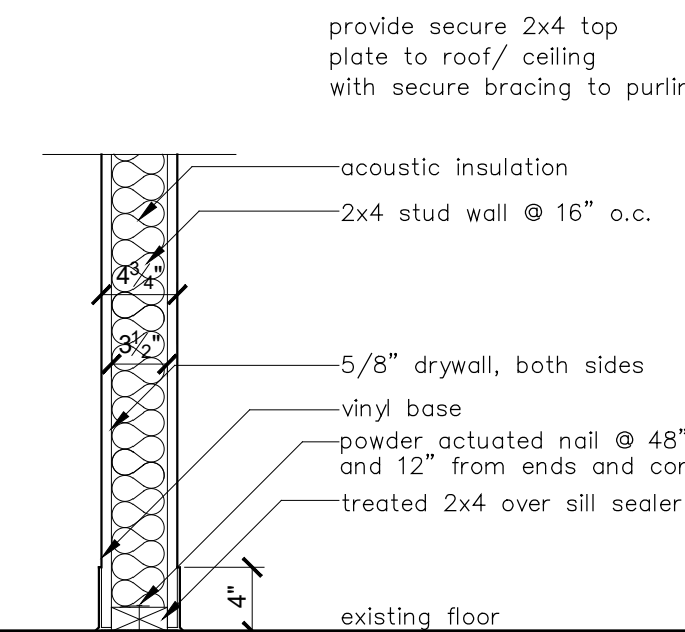
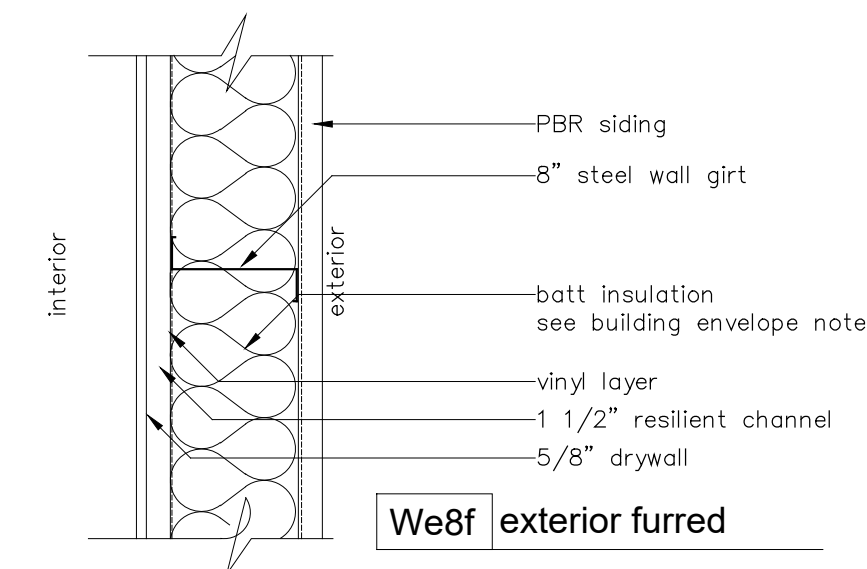


Floor Detail

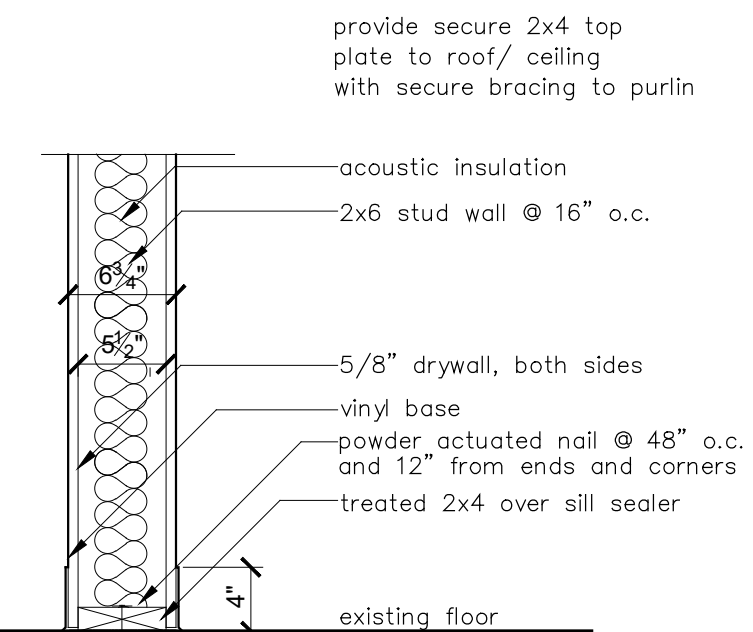


Exterior Wall Assemblies

See Wall and Ceiling Finish Notes, CVR Sheet



Wi4i insulated wall



Wi6i insulated wall

1
A42 **Schedules**

2
A42 **Assemblies**
 scale: 1" = 1'-0"

Plans based on pre-engineered structural building shop drawings.
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Shop Addition
Lot 94, Lyon Subdivision P.U.D.
Silt, CO

Construction
Schedules & Assemblies
Revised: 12-30-24 Revised: 09-10-23 2409B-12-09-24
A42

**TOWN OF SILT
PLANNING AND ZONING COMMISSION REGULAR MEETING
FEBRUARY 4, 2025**

AGENDA ITEM SUMMARY

SUBJECT: FOOD TRUCK RULES, REGULATIONS, MORATORIUM

PROCEDURE: Discussion

RECOMMENDATION: NA

SUMMARY AND BACKGROUND OF SUBJECT MATTER: As you will recall, the Town currently has four permanent food trucks that are operating throughout town. This past summer, a fifth operated at the Rislende development.

The Board of Trustees recently had a discussion related to the condition of the sites the food trucks have been operating, and expressed some concerns related to ancillary structures that have "popped up" following the site plan approvals.

Questions that we have for the committee are as follows:

1. Does the town need to adopt any rules/regulations related to the location and operation of food trucks?
2. If rules/regulations should be established, what are they?
3. If rules/regulations should be established, should the Town adopt a moratorium on any new food trucks?

PRESENTED BY: Jim Mann, Town Manager

DOCUMENTS ATTACHED:


TOWN ATTORNEY REVIEW [] YES [] NO INITIALS _____

SUBMITTED BY:



Jim Mann, Town Manager

REVIEWED BY:



Nicole Centeno, Dir. of Community Dev.



Community Development Department

MEMORANDUM

TO: Jim Mann, Town Administrator
FROM: Nicole Centeno, Community Development Manager
DATE: January 2025– February 2025

Building Department

- * Zoning & Building Reviews
- * Inspections - 31 in January
- * Contractor Licensing- TBD New / TBD YTD
- * BEST Tests- 6 New / 6 YTD
- * Miscellaneous Permits – 3 New / 3 YTD
- * Excavation Permits- 2 New / 2 YTD
- * Single Family Permits – 1 New / 1 YTD
- * Commercial Building Permit- 0 New / 2 YTD
- * Stop Work Orders

Administration

- * Staff Meetings
- * LED/Community Engagement/Communication
- * Business Licenses- TBD YTD
- * Customer Service (Calls, Emails, Walk-ins)
- * Facility Rentals
- * Office/File Organization
- * P & Z Meetings and Minutes
- * Website Management
- * Social Media Management
- * Vendor's Licenses- 0 YTD
- * Housing Needs Assessment Grant
- * GarCo Grant Outreach
- * Comm Dev Software Integration
- * GIS
- * Launch New Comm Dev Software

Recreation

- * Boys Basketball
- * Lil' Dribblers
- * Spring Soccer Reg

Code Enforcement

- * Non-Compliant Business Licenses
- * Building w/out a Permit
- * Zoning Infractions

Subdivisions/Infrastructure

- * Stoney Ridge 2
(Pending Applicant Phasing Plan)
- * Camario Phase 2
(Site Work is permitted and under construction)
- * River Trace
(3 Buildings Received C.O.; all buildings have now been permitted)

Land Use/Planning & Zoning

- * Riverview Sketch- In Processing
- * Laestadian Annexation- Approved, Waiting to Record
- * River Run Storage Site Plan- Pending
- * Free-Up Storage Out of Town Taps- Pending Applicant
- * 347 Dogwood Drive- Subdivision
- * Rislende Final Plat- Waiting on Corrections
- * Heron's Nest- Annexation, PUD & Sketch
- * 1909 Horseshoe Trail- Site Plan Amendment
- * Silt Jumbo Storage- Lot Line Dissolution
- * Claussen- Lot Line Dissolution
- * Murietta- Lot Line Dissolution

Special Events- Current & Future Planning

- * Create Flyers and Advertise Events
- * Coordinating 2025 Events

- * Code Enforcement Complaints
- * Code Research for Complaints